



**City Of Apopka
Planning Commission
Meeting Agenda
February 14, 2017
5:30 PM @ City Council Chambers**

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission regular meeting held January 10, 2017.
- 2 Approve minutes of the Land Development Code Workshop with the City Council and the Planning Commission held on January 25, 2017.

IV. PUBLIC HEARING:

1. COMPREHENSIVE PLAN – CAPITAL IMPROVEMENT ELEMENT – Amendment to the City of Apopka, Five-Year Capital Improvements Plan and incorporation into the Capital Improvement Element.
2. COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – Owned by Project Orlando, LLC, from Rural Settlement (0-1 du/5 ac) to Residential Very Low Suburban (0-2 du/ac), for property located north of Ponkan Road, east of Golden Gem Road. (Parcel ID #s: 24-20-27-0000-00-005; 24-20-27-0000-00-076)
3. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Apopka Holdings, LLC, from "County" Low Density Residential (0-4 du/ac) to "City" Office (Max. 0.3 FAR), for property located at 1109 South Park Avenue and 157 Rand Court. (Parcel ID #s: 15-21-28-7540-000-771; 15-21-28-7540-00-772)
4. CHANGE OF ZONING – Owned by Apopka Holdings, LLC, from "County" R-3 (Residential) to "City" Planned Unit Development (PUD/PO-I), for property located at 1109 South Park Avenue and 157 Rand Court. (Parcel ID #s: 15-21-28-7540-000-771; 15-21-28-7540-00-772)
5. COMPREHENSIVE PLAN – SMALL SCALE – ADMINISTRATIVE FUTURE LAND USE AMENDMENT – Owned by Smith Family Revocable Trust, applicant is the City of Apopka, from "County" Rural (1 du/10 ac) to "City" Agriculture (1 du/5 ac), for property located east of Mt. Plymouth Road, south of Boch Road. (Parcel ID #s: 06-20-28-0000-00-047; 06-20-28-0000-00-066)

6. 2017-1 ADMINISTRATIVE REZONING – Case No. 2017-1-3 & 4 - Owned by Smith Family Revocable Living Trust, from “County” A-2 (ZIP) (0-1 du/10 ac) (Agriculture) to “City” AG (0-1 du/5 ac) (Agriculture), for properties located east of Mt. Plymouth Road, south of Boch Road. (Parcel ID #s: 06-20-28-0000-00-047; 06-20-28-0000-00-066)
7. 2017-1 ADMINISTRATIVE REZONING – Case No. 2017-1-1 - Owned by Mary M. Ashburn Ballings, from “County” A-2 (ZIP) (0-1 du/10 ac) (Agriculture) to “City” AG (0-1 du/5 ac) (Agriculture), for property located east of Mt. Plymouth Road, south of Boch Road. (Parcel ID #s: 06-20-28-0000-00-029)
8. 2017-1 ADMINISTRATIVE REZONING – Case No. 2017-1-2 - Owned by TIIFT, from “County” A-1 (ZIP) (0-1 du/10 ac) (Agriculture) to “City” AG (0-1 du/5 ac) (Agriculture), for property located west of Mt. Plymouth Road, north of Swain Road. (Parcel ID #s: 05-20-28-0476-00-040)

V. SITE PLANS:

1. FINAL DEVELOPMENT PLAN - COOPER PALMS COMMERCE CENTER (LOT 5) – Owned by Property Industrial Enterprises, LLC and located south of Cooper Palms Parkway, east of South Bradshaw Road. (Parcel ID #s: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240; 09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120)
2. FINAL DEVELOPMENT PLAN - COOPER PALMS COMMERCE CENTER (LOTS 10 AND 11) – Owned by Property Industrial Enterprises, LLC and located south of West 2nd Street and west of South Hawthorne Avenue. (Parcel ID #s: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240; 09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120)
3. PLAT – EMERSON PARK TOWNHOMES - Owned by Pulte Group, c/o Doug Hoffman, and located at 1701 Ocoee Apopka Road. (Parcel ID #: 20-21-28-0000-00-001)
4. PLAT – ORCHID ESTATES - Owned by JTD Land at Orchid Estates, LLC, and located south of Kelly Park Road, west of Jason Dwelley Parkway. (Parcel ID #s: 18-20-28-0000-00-055; 18-20-28-0000-00-059; 18-20-28-0000-00-117 Portion)
5. PLAT – SANDPIPER ROAD SUBDIVISION - Owned by Florida Land Trust #111, ZDA at Sandpiper, LLC, and located north of East Votaw Road, west of North Thompson Road. (Parcel ID #s: 03-21-28-0000-00-023; 03-21-28-0000-00-119; 03-21-28-0000-00-015; 03-21-28-0000-00-046; 03-21-28-0000-00-073; 03-21-28-0000-00-072; 03-21-28-0000-00-022; 03-21-28-0000-00-047; 03-21-28-0000-00-131; 03-21-28-0000-00-106)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

- 1 Approve minutes of the Planning Commission regular meeting held January 10, 2017.

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JANUARY 10, 2017, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle

ABSENT: Melvin Birdsong, Jose Molina, Orange County Public Schools (Non-voting)

OTHERS PRESENT: James Hitt – Community Development Director, David Moon, AICP - Planning Manager, Andrew Hand – City Attorney, Kyle Wilkes, AICP – Planner II, Robert Sargent – Public Information Officer, Christine Gates, William J. Gates, Joseph M. Gates, Adeline Collot, George Kramer, Ronnie Phillips, Chris Loudon, Michelle Bell, Suzanne Kidd, Luis J. Cordero, Shalette Daugherty, John Peery, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

OPENING AND INVOCATION: Mr. Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

ELECTION OF OFFICERS:

Chairperson:

MOTION: Linda Laurendeau nominated James Greene as Chairperson of the Planning Commission and seconded by Tony Foster. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle (5-0).

Vice - Chairperson:

MOTION: Tony Foster nominated Melvin Birdsong as Vice-Chairperson of the Planning Commission and seconded by Linda Laurendeau. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle (5-0).

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of December 13, 2016, at 5:30 p.m. minutes.

Motion: Linda Laurendeau made a motion to approve the Planning Commission minutes from the regular meeting held on December 13 2016, at 5:30 p.m. and seconded by Roger Simpson. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson and John Sprinkle (5-0).

LEGISLATIVE - COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – JOSEPH & SWANA GATES AND OAK ROYAL PROPERTIES, LLC - Chairperson Greene stated this is a request to recommend approval of the Large Scale Future Land Use amendment from Office (Max. 0.3 FAR) and Residential Low (0-5 du/ac) to Mixed Use (0-15 du/ac and/or 1.0 FAR) for the properties owned by Joseph and Swana Gates and Oak Royal Properties, LLC, located east of Ocoee-Apopka Road, north of Keene Road; and recommend approval to transmit to the Florida Department of Economic Opportunity for review.

Staff Presentation: Kyle Wilkes, AICP, Planner II, stated this is a request to recommend approval of the Large Scale Future Land Use amendment from Office (Max. 0.3 FAR) and Residential Low (0-5 du/ac) to Mixed Use (0-15 du/ac and/or 1.0 FAR) for the properties owned by Joseph and Swana Gates and Oak Royal Properties, LLC, located east of Ocoee-Apopka Road, north of Keene Road; and to recommend approval to transmit to the Florida Department of Economic Opportunity for review. The Applicant is Littlejohn Engineering. The existing use are container nurseries and single-family residential home. The current zoning is PO/I (Professional Office/Institutional) & AG (Agriculture). Once approval has been received from the State, a change of zoning from PO/I and AG to Mixed-EC (Mixed Use Employment Center) will be brought before the Planning Commission and City Council for consideration. The tract size

is 22.4 +/- acres. The existing maximum allowable development is 518 units. The proposed maximum allowable development will be 975,744 sq. ft. of non-residential uses and 336 multi-family units.

The subject parcels were annexed into the City of Apopka on December 5, 2001 through Ordinance 1421. The applicant requests a future land use designation of Mixed Use. The request is compatible with surrounding future land use designations and adjacent uses. As a "Large-Scale" Future Land use Amendment (i.e., ten or more acres), this application will be transferred to State agencies for consistency review with State policies. Ocoee-Apopka Road will likely need to be widened to a four lane, divided road in the future, likely requiring land from the western edge of the subject site to accommodate the future improvements.

The proposed use of the property is compatible with the character of the surrounding area, is within close proximity to the SR 429/Ocoee Apopka Road interchange, and is consistent with the Mixed Use Land Use designation. City planning staff supports the FLUM amendment given the consistency with the Comprehensive Plan policies listed below and the intent of the Ocoee Apopka Road Small Area Study (see Land Use Analysis below). Site development cannot exceed the intensity allowed by the Future Land Use policies.

Future Land Use Element

1. **Policy 3.1.r** The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional uses and public facilities uses...This mix of land uses may occur on a single parcel or multiple parcels in the form of: a permitted single use; a vertical combination of different permitted uses; or a horizontal mix of different permitted uses.

The applicant's wish to develop the properties for a vertical mix or commercial and residential development is consistent with Policy 3.1.r.

2. **Policy 3.2** Development and redevelopment shall be integrated with the adjacent land uses through: (1) the creation of like uses; or (2) creation of complementary uses; or (3) mitigation of adverse impacts.

The proposed use for the subject properties as mixed use residential/non-residential development is consistent with the current and future proposed development of the surrounding area. Mixed Use future land use designation is immediately adjacent to the north (Emerson Park traditional neighborhood-style residential development), as well as High Density Residential across Ocoee Apopka Road to the west. In addition, the proposed development is consistent with the small study area recommendations for these uses.

Transportation Element

1. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, shorter trip lengths and balanced trip demand.

The proposed Commercial future land use designation and subsequent mixed-use residential and non-residential development would support existing and proposed residential development, the future Florida Hospital Apopka campus, as well as ancillary professional office development within the Ocoee Apopka Road Small Area Study. The study area recommendations promote the development of walkable, village-style development within the area surrounding the new hospital campus. The applicant's proposal would be consistent with Policy 4.2 by providing support office/retail for adjacent residential comm[un]es and employment and reduce trips by providing a

vertical mix of uses.

The property is located within the boundaries of Ocoee-Apopka Road Small Area Study. Prepared in February 2015, this study recommends mixed-use town center or multi-family development for the subject site. A Mixed Use Future Land Use Designation supports this recommendation. A copy of the concept plan\vision plan for the Ocoee-Apopka Road Study is provided with the support material.

An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

The Development Review Committee recommends approval to transmit a change in Future Land Use from Office (max 0.3 FAR) to Mixed Use for the property owned by Joseph & Swana Gates and Oak Royal Properties, LLC, subject to the information and findings in the staff report.

Staff recommends that the Planning Commission find the Commercial Future Land Use Designation consistent with the Comprehensive Plan and recommend a change in Future Land Use Designation from Office and Residential Low Density to Mixed Use for the properties owned by Joseph & Swana Gates and Oak Royal Properties, LLC, subject to the information and findings in the staff report.

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to a question by Ms. Laurendeau, Mr. Moon stated that as a part of the development plan process, a soil study will be required to identify specific karst features.

Chairperson Greene opened the meeting for public hearing.

In response to questions by Suzanne Kidd, 1260 Lexington Parkway, Apopka, George Kramer of Littlejohn Engineering Associates, stated that the increase to the floor area ratio does not affect the green space. As far as developing the property they will be following the guidelines set forth in the Ocoee Apopka Road Small Area Study. The change of land use is the first step of many steps to be able to develop anything on the property.

Shalette Daugherty, 1455 West Keene Road, Apopka, expressed her concerns regarding the impacts to her equine stable and riding business located adjacent to the subject property.

In response to comments by Ms. Daugherty, staff asked that she leave her contact information and staff will include her on the list for notifications of public hearings as the project progresses.

Mr. Moon stated that based on the requested Mixed Use future land use the zoning for the property will probably be Planned Unit Development or Mixed Use. The applicant will be encouraged to hold community meetings before the public hearings are held. This will allow the applicant to present to the area property owners their proposal and to get feedback.

Mr. Kramer stated that they had sent out notices as required.

Mr. Foster reminded the petitioner about their due diligence when notifying the abutting public.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the application consistent with the Apopka Comprehensive Plan; Ocoee Apopka Road Small Area Study; and the Land Development Code; and to recommend approval of the Large Scale Future Land Use Amendment from Office (Max. 0.3 FAR) and Residential Low (0-5 du/ac) to Mixed Use (0-15 du/ac and/or 1.0 FAR) for the properties owned by Joseph and Swana Gates and Oak Royal Properties, LLC, located east of Ocoee-Apopka Road, north of Keene Road; and to recommend approval to transmit to the Florida Department of Economic Opportunity for review. Motion seconded by Roger Simpson.

In response to a question by Mr. Sprinkle, James Hitt, FRA, Community Development Director, stated that St. Johns River Water Management District permits water usage by local governments. The City has been issued a Consumptive Use Permit (CUP) by SJRWMD and reviews the permits every five to ten years.

Mr. Moon stated that SJRWMD would be one of the state agencies that will be reviewing the Large Scale Future Land Use amendment to ensure compliance with the CUP Permit.

Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

SWEARING-IN – Attorney Hand swore-in staff, petitioners, and affected parties for the quasi-judicial items to be discussed.

LEGISLATIVE - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – ADAMS BROTHERS CONSTRUCTION - Chairperson Greene stated this is a request to recommend approval of the Small Scale Future Land Use amendment from “County” Industrial to “City” Industrial (Max. 0.6 FAR) for the property owned by Adams Brothers Construction and located south of East 13th Street, west of Sheeler Avenue.

Staff Presentation: Mr. Wilkes stated this is a request to recommend approval of the Comprehensive Plan Small Scale Future Land Use amendment from “County” Industrial to “City” Industrial (Max. 0.6 FAR) for the property owned by Adams Brothers Construction and located south of East 13th Street, west of Sheeler Avenue. The existing use is a modular office, single-family residential and vacant commercial. The current zoning is “County” C-3 (ZIP) and a change of zoning is being processed along with the future land use amendment to “City” I-1 (Restricted Industrial). The proposed development will be Industrial, Commercial or Office Development that is consistent with the I-1 (Restricted Industrial) zoning. The tract size is 3 +/- acres. The existing and proposed maximum allowable development is 78,408 Sq. Ft.

The subject parcel was annexed into the City of Apopka on November 16, 2016, through the adoption of Ordinances No. 2528. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign an I-1 (Restricted Industrial) zoning category to the Property is being processed in conjunction with this future land use amendment request for an Industrial designation. The FLUM amendment application covers approximately 3 acres, exceeding the minimum development site area of 15,000 sq. ft. The property owner owns the property immediately adjacent to the east of the subject properties, and intends to use the recently-annexed parcels for light industrial as part of their existing construction business.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land change (see attached Land Use Report).

The existing and proposed use of the property is consistent with the Industrial Future Land Use designation and the City's proposed I-1 Zoning designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

Because this Future Land Use Amendment represents a change to a non-residential designation, notification of Orange County Public Schools is not required.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in Future Land Use from "County" Industrial to "City" Industrial (0.6 FAR) for the property owned Adams Brothers Construction.

The recommended Motion is to find the future land use amendment consistent with the Comprehensive Plan and recommend adoption of the small scale future land use amendment from "County" Industrial to "City" Industrial (max 0.60 FAR), for properties owned by Adams Brothers Construction.

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Tony Foster made a motion to find the application consistent with the Apopka Comprehensive Plan and the Land Development Code; and to recommend approval of the Small Scale Future Land Use Amendment from "County" Industrial to "City" Industrial (Max. 0.6 FAR) for the property owned by Adams Brothers Construction and located south of East 13th Street, west of Sheeler Avenue. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL - CHANGE OF ZONING – ADAMS BROTHERS CONSTRUCTION - Chairperson Greene stated this is a request to recommend approval of the Change of Zoning from "County" C-3 (ZIP) to "City" I-1 (Restricted Industrial) for the property owned by Adams Brothers Construction and located south of East 13th Street, west of Sheeler Avenue.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Mr. Wilkes stated this is a request to recommend approval of the Change in Zoning from "County" C-3 (ZIP) to "City" I-1 (Restricted Industrial) for the property owned by Adams Brothers Construction and located south of East 13th Street, west of Sheeler Avenue. The existing use is a modular office, single-family residential and vacant commercial. The current future land use is "County" Industrial and a Small Scale Future Land Use Amendment to "City" Industrial (Max. 0.6 FAR) is being processed along with the change of zoning. The proposed development will be Industrial, Commercial or Office Development that is consistent with the I-1 (Restricted Industrial) zoning. The tract size is 3 +/- acres. The existing and proposed maximum allowable development is 78,408 Sq. Ft.

The subject parcels were annexed into the City of Apopka on November 16, 2016 through the adoption of Ordinances No. 2528. The proposed change of zoning is being requested by the owner/applicant. Presently,

the subject property has not yet been assigned a “City” zoning category. Applicant is requesting the City to assign a zoning classification of I-1 (Restricted Industrial) to the property.

A request to assign a change of zoning to I-1 (Restricted Industrial) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the I-1 zoning classification to accommodate the use of the property for light industrial, commercial or office development allowed under the I-1 zoning district. This use is consistent with the proposed Industrial Future Land Use Designation, proposed zoning district and compatible with the general character of surrounding zoning and uses. The change of zoning application covers approximately 3 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

The proposed use of the property is consistent with the Industrial (max 0.60 FAR) Future Land Use designation and the City’s proposed I-1 (Restricted Industrial) Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

The proposed rezoning is to a non-residential zoning district and, therefore, a capacity enhancement agreement with OCPS is not necessary.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and the Land Development Code recommends adoption of the change in Zoning from “County” C-3 (ZIP) to “City” I-1 (Restricted Industrial), subject to the adoption of the associated small scale future land use amendment, for the property owned by Adams Brothers Construction.

The recommended Motion is to find the proposed rezoning consistent with the Comprehensive Plan and Land Development Code and to recommend a change of zoning from “County” C-3 (ZIP) to “City” I-1 (Restricted Industrial), for property owned by Adams Brothers Construction, subject to the adoption of the associated small scale future land use amendment.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to a question by Mr. Sprinkle, Mr. Wilkes stated the applicant will continue the current industrial uses on the site.

Petitioner Presentation: None.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Tony Foster made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend adoption of the change of zoning from “County” C-3 (ZIP) to “City” I-1 (Restricted Industrial) for property owned by Adams Brothers Construction and located south of East 13th Street, west of Sheeler Avenue. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN/PLAT – MAGNOLIA COMMERCE CENTER - Chairperson Greene stated this is a request to recommend approval of the Final Development Plan and Plat for Magnolia Commerce Center owned by Vistas at Waters Edge owned by Property Industrial Enterprises, LLC, and located at 445 West 1st Street.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to recommend approval of the Final Development Plan and Plat for Magnolia Commerce Center owned by Property Industrial Enterprises, LLC, and located at 445 West 1st Street. The Applicant is Michael R. Cooper and the Engineer is Kenneth H. Ehlers, P.E. The land use is Commercial and the zoning is C-3. The existing use is vacant land and the proposed use is Commercial Warehouses (20,000 S.F.) w/ Office Space (2,455 S.F.). The tract size is 2.43 +/- acres and the combined building size is 22,445 sq. ft. (Three (3) 7,485 S.F. Buildings) with a Floor Area Ratio (FAR) of 0.21.

The Magnolia Commerce Center - Final Development Plan proposes to construct three (3) 7485 S.F. buildings for a total of 22,445 square feet of warehouse and office space. A re-plat of the property will occur to eliminate any future potential conflict with the current antiquated plat and the previously vacated public right-of-way abutting the railroad track.

A total of 53 parking spaces are provided of which 3 are reserved as a handicapped parking spaces. Access to the site is provided by a driveway cut along Bradshaw Road and 1st Street.

The design of the building exterior shall be consistent with Section 4.2.1 of the Development Design Guidelines Commercial Design Standards.

Stormwater run-off and drainage will be accommodated by an on-site retention pond through a cross access easement agreement. The off-site stormwater management system will be designed according to standards set forth in the Land Development Code.

A ten-foot landscape buffer is provided along Bradshaw Road and West 1st Street. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

Total inches on-site:	0
Total number of specimen trees:	0
Total inches removed	0
Total inches retained:	0
Total inches required:	162
Total inches replaced:	162
Total inches post development:	162

The Development Review Committee recommends approval of the Magnolia Commerce Center – Final Development Plan and plat, subject to the findings of the staff report.

The recommended motion is to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend a 10 al of the Magnolia Commerce Center – Final

Development Plan and plat, subject to the findings of the staff report.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: None.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: John Sprinkle made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend approval of the Final Development Plan and Plat for Magnolia Commerce Center owned by Property Industrial Enterprises, LLC, and located at 445 West 1st Street. Motion seconded by Tony Foster. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – REPLAT – COOPER PALMS LOTS 10 AND 11 - Chairperson Greene stated this is a request to recommend approval of the Replat of Cooper Palms Lots 10 and 11 owned by Property Industrial Enterprises, LLC and located south of West 2nd Street and west of South Hawthorne Avenue.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Mr. Moon stated this is a request to recommend approval of the Replat of Cooper Palms Lots 10 and 11 owned by Property Industrial Enterprises, LLC and located south of West 2nd Street and west of South Hawthorne Avenue. The Applicant is Michael R. Cooper and the Surveyor is Nieto-Whittaker Surveying, LLC c/o Ralph A. Nieto, P.S.M. The land use is Industrial and the zoning is I-1. The existing use is Vacant Land and the proposed use is Industrial Warehouses. The tract size is 2.81 +/- acres.

The Cooper Palms Lots 10 & 11 is proposing to combine lots 23, 24, 25 & 26 of Block “A” Bradshaw and Thompson’s addition into two individual parcels being incorporated into the Cooper Palms Plat. The applicant will be bring forth a Final Development Plan in the upcoming months for the construction of an industrial warehouses with offices.

The Development Review Committee recommends approval of the Cooper Palms Lots 10 & 11 – Plat, subject to the findings of this staff report.

The recommended motion is to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend approval of the Cooper Palms Lots 10 & 11 – Plat, subject to the findings of this staff report.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: None.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend approval of the Replat of Cooper Palms Lots 10 and 11 owned by Property Industrial Enterprises, LLC and located south of West 2nd Street and west of South Hawthorne Avenue. Motion seconded by Roger Simpson. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Roger Simpson, and John Sprinkle (5-0). (Vote taken by poll.)

OLD BUSINESS: None.

NEW BUSINESS: Chairperson Greene announced that there will be two workshops for the City Council and the Planning Commission held in January. The first will be held on Wednesday, January 18, 2017, from 5:30 p.m. to 6:30 p.m. in the City Council chambers and is a review of the quasi-judicial process by the City Attorney. The second workshop is scheduled for Wednesday, January 25, 2017, from 4:00 p.m. to 6:00 p.m. at the VFW Community Center and will comprise a presentation from Clarion, the City's consultant working on the Land Development Code amendment.

Mr. Hitt stated that the workshop on January 18th will be a review of the Sunshine Laws and quasi-judicial procedures with the City Attorney. The workshop on January 25th will be an opportunity for the Commission to provide feedback on the Land Development Code amendment. One issue that staff will be looking at revising the section regarding the development review process. For instance if an applicant has a development plan that meets all of the City codes and regulations, there is no reason to not administratively approve the development rather than having them bring their projects before the Planning Commission or City Council. This will save time and money.

ADJOURNMENT: The meeting was adjourned at 6:21 p.m.

James Greene, Chairperson

James K. Hitt
Community Development Director

Backup material for agenda item:

- 2 Approve minutes of the Land Development Code Workshop with the City Council and the Planning Commission held on January 25, 2017.

MINUTES OF THE CITY COUNCIL AND PLANNING COMMISSION WORKSHOP HELD ON JANUARY 25, 2017, AT 4:00 P.M. AT THE CITY OF APOPKA COMMUNITY CENTER.

PRESENT: Mayor Joseph Kilsheimer
Commissioner Billie Dean
Commissioner Diane Velazquez
Commissioner Doug Bankson
City Administrator Glenn Irby
James Greene, Planning Commission
Melvin Birdsong, Planning Commission
Tony Foster, Planning Commission
Linda Laurendeau, Planning Commission
Jose Molina, Planning Commission
John Sprinkle, Planning Commission

PRESS: Theresa Sargent – The Apopka Chief

STAFF: James Hitt, FRA-RA – Community Development Director, David Moon, AICP - Planning Manager, Kyle Wilkes, AICP – Planner II, Elizabeth Florence – Planner, Linda Goff – City Clerk, Robert Sargent – Public Information Officer, Rob Hippler – IT Director, Mike Brown – Desktop Support Engineer, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

Mayor Kilsheimer called the meeting to order and led the Pledge of Allegiance.

INTRODUCTION: James Hitt, Community Development Director, introduced Clarion Associates Project Director, Craig Richardson. He explained that Clarion would be working on updating the City's Land Development Code to bring it up to date in order to better implement with City's Comprehensive Plan 2030 and Grow Apopka 2025 Vision Plan. The update will also ensure the City's development regulations are internally consistent, modernized, and more in line with contemporary zoning best practices.

CLARION ASSOCIATES:

Mr. Richardson stated that Clarion Associates is a national land-use consulting firm with significant national and Florida experience of updating development codes. They are experts in form, use, and performance-based development codes. They have significant experience with updating codes in mature, built communities. They are national leaders in zoning best practices and sustainable development regulations. The Clarion team provides excellent communicators and skilled facilitators.

Mr. Richardson introduced the Clarion project team of Pete Sullivan, AICP - Senior Associate, David Henning – Associate, and Chris Peterson – Marketing and Special Projects. He stated that he and Mr. Henning are attorneys; however, they are not a law firm. Next, Mr. Richardson introduced Tara Salmieri, AICP, President of PlanActive Studio located in Orlando.

Ms. Salmieri stated her company, PlanActive Studios, is a woman owned company that provides a broad range of technical analysis and tools for each municipality that will inform the community, staff and elected officials of potential conflicts in their regulations, plans and manuals. PlanActive's goal is to provide solutions that are easy to understand while developing implementable strategies to meet the vision and desires of each community.

Mr. Richardson went over the work program and schedule for the project.

Task 1: The first task is to review all relevant background materials, including but not limited to, all relevant planning documents, other documents that provide policy direction, the existing Land Development Code (LDC), other relevant regulations, the zoning map, administrative rules and

interpretations of the current LDC, examples of approved development permits, and other documents identified by City staff.

After completion of the background review, Clarion meets with City staff; conduct a kick-off meeting that includes stakeholders, such as residents and business owners, as well as elected and appointed officials; and take a tour of the city. Prior to meeting with City staff, Clarion prepared surveys for them to fill out that will provide a framework for input in a consistent fashion.

A project website, www.apopkazoning.com, has been set up to provide information about the project, the schedule, and public involvement opportunities. New work products will be placed on the website when available for public review. The website will serve as a tool through which the public can comment on the process and the work products as they are completed.

Task 2: Task 2 will be the assessment of the Land Development Code based on the information gathered during Task 1. The LDC assessment will synthesize and refine the key issues; recommend solutions to address the key issues; and provide a detailed outline of the rewritten LDC structure if the key issues and solutions are addressed as recommended. The assessment will consist of a Diagnosis and an Annotated Outline.

The Diagnosis identifies the key issues that need to be addressed in the rewrite. The Annotated Outline provides the community an opportunity to review the overall structure of the proposed revisions before the actual drafting occurs. It will include an article-by-article outline of the rewritten LDC and an explanation of the purpose and nature of each article and major sections in layperson's language.

There will be meetings with the City Council and Planning Commission, as appropriate, to provide a public forum for any questions or comments on the assessment.

Task 3: Based on the Assessment and the public input and directions received, a draft of the Land Development Code will be prepared that is user-friendly and includes the agreed upon changes to the code. The draft will follow the Annotated Outline and will be clear, concise and drafted with the goal of efficient administration. It will emphasize the use of graphics, tables, and charts to explain zoning and land use concepts.

Based on the current set of design guidelines, the draft will include a basic set of design standards for single-family development; multi-family development; commercial, office, and mixed use development; big-box development; and industrial development. Additionally, community form standards will be drafted which will apply to greenfield development in specific areas of the city.

There will not be a comprehensive revision to the sign regulations; however, the sign regulations will be reformatted to conform to the rewritten LDC format and to make minor and specific targeted revisions.

Due to the substantial amount of new information in the rewritten LDC, the drafting will be divided into two manageable installments consisting of related provisions. The first installment will include procedures, administration, districts and uses. The second installment will consist of development standards and definitions.

Once each set of consolidated written comments are prepared and Clarion and City staff have reached a consensus about revisions, Clarion will make the changes. The draft will then be made public as the "Public Review Draft."

There will be meetings with the City Council and Planning Commission, as appropriate, to provide a public forum for any questions or comments on each of the installments.

Task 4: A focused test of the draft LDC will be conducted through a side-by-side comparison of four examples of recently approved developments with comparable hypothetical development in accordance with the draft LDC. The objective of the comparison is to demonstrate how well the rewritten LDC would produce desired forms of development, or outcomes, or otherwise affect development in terms of land uses, building form, and overall development quality.

There will be meetings with the City Council and Planning Commission, as appropriate, to provide a public forum for any questions or comments on each of the case studies.

Task 5: Based on the input from the previous tasks and public meetings, revisions will be made to the draft LDC and a “Public Hearing Draft” of the LDC and a zoning map will be delivered along with an executive summary that explains the structure of the LDC and the changes that have been made.

Public hearings and work sessions will be held with the City Council and Planning Commission to present the public hearing draft and answer any questions.

Once those public hearings are held, any revisions will be made a final LDC and zoning map prepared for staff review and presentation to the City Council for adoption.

SCHEDULE: Mr. Sullivan reviewed the schedule of the project and stated that it will take fourteen months to complete.

GOALS:

Making the Land Development Code User-Friendly: Mr. Richardson stated that they would modernize the code format and structure. Provide flexible provisions and made it easier to interpret and administer. Streamline the approval/review process. Ensure that the provisions are consistent.

This will influence the development regulations by streamlining language and reduce redundancy. Streamline the review procedures. Provide graphics and illustrations for ease of use. Revise definitions and cross-references; and add tables.

Implementing the Comprehensive Plan 2030 and Grow Apopka 2025 Vision Plan: Mr. Richardson stated that the amendment would contribute to the revitalization of the downtown and support economic development. It would support the small-town community character and increase walkability. It would protect neighborhoods from incompatible development.

This will influence the development regulations when considering gateway and corridor districts. It will consolidate and modernize permitted and conditional uses. It will remove barriers to development and add neighborhood protection standards. It will refine the zoning district standards and consolidate and refine land uses.

Modernizing the Development Regulations: Mr. Richardson stated the revised regulations will be based on contemporary best practices. It will provide for high quality urban design and support environmentally-friendly development.

This will influence the development regulations by refining the design standards. The possibility of adding green building standards and incentives. Review 16 tree protection, open space, and landscape standards.

Reviewing the standards for parking, perimeter buffers and lighting. It will also include a review of nonconformity provisions.

PUBLIC INVOLVEMENT: Mr. Richardson public involvement will be encouraged by the project website. The website will provide project information and announcements. Upcoming meetings will be posted. Work products will be downloaded for anyone's review. Additionally, a survey has been posted that allows the public to provide their input on the types of development or code changes they would like to see.

The public will have numerous opportunities to provide input. The survey that is posted on the project website. Attending the various meetings such as the meetings on the individual modules that will be held throughout the drafting process. Any public meeting where the project will be discussed. The public may also provide feedback any time to the website.

NEXT STEPS: Mr. Richardson stated the next steps will be have the surveys reviewed by February 14, 2017. Review the surveys and background analysis with City staff. Prepare the Code assessment and present it to the community. Then begin drafting the new code.

In response to questions by Commission Bankson, Mr. Richardson stated the typical length of time for this type of review is 18 months; however, 14 months is doable and should not be a problem. He reiterated that the first step is to prepare a code assessment which will then be forwarded to staff and will include the rationale for each recommended change. The second step will be to use that assessment and draft each code installment that will contain footnotes for each change that will explain the change and the reason for the change. He said that all of the documents will be made electronically available through the project website.

In response to questions by Mr. Molina, Mr. Richardson stated that this review will only include the zoning codes and will address such issues as setbacks from highways. They will not be reviewing or amending any building or environmental codes.

Mayor Kilsheimer stated that the information Mr. Molina was looking for may have to do with what is called "Complete Streets." These streets are designed and operated to enable safe access for all users, including pedestrians, bicyclists, motorists and transit riders of all ages and abilities. Complete Streets make it easy to cross the street, walk to shops, and bicycle to work. They allow buses to run on time and make it safe for people to walk to and from train stations.

Mr. Hitt stated that adopting a "Complete Streets" policy, communities direct their transportation planners and engineers to routinely design and operate the entire right of way to enable safe access for all users, regardless of age, ability, or mode of transportation. This means that every transportation project will make the street network better and safer for drivers, transit users, pedestrians, and bicyclists—making your town a better place to live.

There is no singular design prescription for Complete Streets; each one is unique and responds to its community context. A complete street may include: sidewalks, bike lanes (or wide paved shoulders), special bus lanes, comfortable and accessible public transportation stops, frequent and safe crossing opportunities, median islands, accessible pedestrian signals, curb extensions, narrower travel lanes, roundabouts, and more.

A Complete Street in a rural area will look quite different from a Complete Street in a highly urban area, but both are designed to balance safety and convenience for everyone using the road.

In response to a question by Mayor Kilsheimer, Mr. Richardson stated that the revised Land Development Code will include a mission statement.

Mayor Kilsheimer encouraged the City Council and the Planning Commission members to get the word out about the project and the website because it will have a huge impact on Apopka's future.

In response to a question by Commission Bankson, Mayor Kilsheimer stated the Public Information Officer, Robert Sargent, will be posting notices regarding the upcoming meetings and public hearings.

Mr. Hitt asked that if anyone have any questions or comments to please give him a call or send him an e-mail. He stated he will be happy to meet with them to discuss the project and to hear their input.

Mr. Birdsong expressed his support and gratitude for the project. He said he likes what he sees which is that the City preparing for the future growth that will be coming to Apopka.

ADJOURNMENT: The workshop was adjourned at 5:05 p.m.

Joseph E. Kilsheimer, Mayor

James Greene, Chairman
Planning Commission

James K. Hitt
Community Development Director

Backup material for agenda item:

1. COMPREHENSIVE PLAN – CAPITAL IMPROVEMENT ELEMENT – Amendment to the City of Apopka, Five-Year Capital Improvements Plan and incorporation into the Capital Improvement Element.



CITY OF APOPKA PLANNING COMMISSION

CONSENT AGENDA

☒ **PUBLIC HEARING**

☐ **SPECIAL REPORTS**

☐ **OTHER:**

MEETING OF: February 14, 2017

FROM: Community Development

EXHIBITS: Appendix 7-1 – CIE – Five-Year CIP

SUBJECT: AMENDMENT TO THE CITY'S FIVE-YEAR CAPITAL IMPROVEMENTS PLAN, AND INCORPORATING INTO THE CITY OF APOPKA, COMPREHENSIVE PLAN, CAPITAL IMPROVEMENTS ELEMENT.

Request: RECOMMEND APPROVAL OF THE AMENDMENT TO THE CITY OF APOPKA, FIVE-YEAR CAPITAL IMPROVEMENTS PLAN AND INCORPORATE INTO THE CITY OF APOPKA COMPREHENSIVE PLAN, CAPITAL IMPROVEMENT ELEMENT.

SUMMARY:

The city's annual update to the Five-Year Capital Improvement Plan was adopted recently by City Council. This annual update of the five-year CIP is intended to schedule capital projects that are necessary to meet accepted levels of service (LOS), to maintain and repair failing facilities, and to provide additional infrastructure facilities and roads to meet demands generated by new growth and development.

However, the City is pursuing a Florida Department of Environmental Protection – Office of Operation, Lands and Recreation grant. This grant request is for \$200,000 to fund the installation of a fitness trail/track at Kit Land Nelson Park to complement the future park improvements to Kit Land Nelson Park and Edwards Field. The grant requires as part of the application process that the proposed grant project be included in the City's Five-Year Capital Improvement Plan.

Further, should the City be awarded grant funding, grant fund disbursement will require a 40 percent match from the City's Recreation general fund in the amount of \$80,000

Exhibit 'A' of this report includes the updated CIP to be incorporated as Appendix 7-1 of the Capital Improvements Element. The proposed CIP changes (additions) are included in the 'General Fund' and 'FDEP Grant Fund' sections of the Recreation CIP (shown in Exhibit 'A').

Legislative changes in 2011 to Chapter 163, Florida Statutes allow local governments to update their five-year CIP by ordinance, and is not considered a comprehensive plan policy amendment. Therefore, incorporation of the updated CIP into the Capital Improvements Element does not require transmittal to the Florida Department of Economic Opportunity for state agency review.

PUBLIC HEARING SCHEDULE:

February 14, 2017 – Planning Commission (5:30 pm)

March 1, 2017 – City Council 1st Reading (1:30 pm)

March 15, 2017 – City Council 2nd Reading (7:00 pm)

DULY ADVERTISED:

January 20, 2017 – Public Hearing Notice

March 10, 2017 – Ordinance Adoption Ad

DISTRIBUTION:

Mayor Kilsheimer

Commissioners (4)

City Administrator Irby

Community Dev. Director

Finance Director

HR Director

IT Director

Police Chief

Fire Chief

Public Ser. Director

City Clerk

Recreation Director

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the update of the City of Apopka Five-Year Capital Improvements Plan to be incorporated into the Apopka Comprehensive Plan – Capital Improvements Element.

RECOMMENDED MOTION: Find the proposed amendment of the Apopka Five-Year Capital Improvements Plan consistent with the Apopka Comprehensive Plan, recommend approval of the Five-Year Capital Improvements Plan amendment and the incorporation into the Capital Improvements Element of the Comprehensive Plan.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

APPENDIX 7-1*: FIVE-YEAR SCHEDULE OF CAPITAL IMPROVEMENTS - RECREATION
 (* indicates proposed changes)

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Concession, bathrooms, building and sidewalks at NWRC	General Fund		\$300,000					\$300,000
Parking Lot-NWRC Little League Fields			\$510,000					\$510,000
Picnic Pavilions			\$100,000		\$100,000		\$100,000	\$300,000
NWRC Ball Field Renovations		\$23,900	\$50,000	\$50,000	\$50,000			\$173,900
Fitness Equipment for Kit Land Nelson Park (with grant)								\$23,900
Bleacher Covers Over Quad 3			\$60,000					\$60,000
Tennis Court Resurfacing – NWRC					\$50,000			\$50,000
Basketball Resurfacing – NWRC					\$50,000			\$50,000
Lk. Ave. Park – Playground, Pavilion, Shade Structure				\$350,000				\$350,000
Old Little League Fields New Park					\$200,000			\$200,000
NWRC Scoreboards for (1) Quad			\$30,000	\$30,000				\$60,000
New ball fields (Baseball, soccer, etc.)				\$2,200,000				\$2,200,000
Alonzo Williams Park Improvements (Contingent upon CDBG grant award)			\$50,000					\$50,000
Kit Land Nelson Park Fitness (grant contingent)*			\$80,000					\$80,000
TOTAL GENERAL FUND		\$23,900	\$1,180,000	\$2,630,000	\$450,000	\$0	\$100,000	\$3,285,000

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Recreation Splash Pad at NWRC	Recreation Impact Fund					\$400,000		\$400,000
Skate Park			\$300,000					\$300,000
Playground at Apopka Athletic Complex (AAC)			\$75,000					\$75,000
Splash Pad w/ Restrooms (Kit Land Nelson Park)		\$750,000						\$750,000
Park Lot - NWRC				\$267,000	\$865,000		\$1,165,000	\$2,297,000
TOTAL RECREATION IMPACT FUND		\$750,000	\$375,000	\$267,000	\$865,000	\$400,000	\$1,650,000	\$4,307,000
Alonzo Williams Community Center Bldg.	CDBG		\$750,000					\$750,000
TOTAL CDBG			\$750,000					\$750,000
Alonzo Williams Park ¹ Renovations	FRDAP Grant	\$28,000						\$28,000
Alonzo Williams Park New Construction ²		\$22,000						\$22,000
Kit Land Nelson Park Renovations ³		\$3,700						\$3,700
Kit Land Nelson Park New Construction ⁴		\$42,500						\$42,500
AAC Renovations ⁵			\$17,000					\$17,000
AAC New Construction ⁶			\$33,000					\$33,000
Old Little League Fields New Park Construction					\$200,000			\$200,000
TOTAL FRDAP GRANT FUNDS		\$96,200	\$50,000	\$0	\$200,000	\$0	\$0	\$346,200

¹ Resurfacing, irrigation, drinking fountain, picnic facilities

² Playground, security lighting

³ Resurfacing, tennis court maintenance, drinking fountain, picnic facilities, miscellaneous maintenance

⁴ New playground, bike rack, picnic facilities

⁵ Restrooms, playground surface materials, baseball dugout shelters, drinking fountain & picnic facilities

⁶ Playground, landscaping, picnic facilities

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Kit Land Nelson Park Fitness Track/Trail*	FDEP Grant		\$200,000					\$200,000
TOTAL FDEP GRANT FUNDS			\$200,000					\$200,000
Gymnasium/Aquatic Center (GO Bond)	Other Funds		\$20,000,000					\$20,000,000
Fitness Equipment for Kit Land Nelson Park/Outdoor Fitness Grant		\$9,560						\$9,560
TOTAL OTHER FUNDS		\$9,560	\$20,000,000	\$0	\$0	\$0	\$0	\$20,009,560

APPENDIX 7-1 (CONT'D) : FIVE-YEAR SCHEDULE OF CAPITAL IMPROVEMENTS – PUBLIC SERVICES

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Downtown Parking Lot	CRA	\$200,000						\$200,000
Downtown Park Lot Upgrades			\$500,000					\$500,000
TOTAL CRA FUND								\$700,000
Brick Streets, Repair & Restoration	Street Improvement Fund		\$500,000					\$500,000
Equipment (3412 Streets-6400)		\$60,000	\$60,000	\$60,000	\$50,000	\$50,000	\$50,000	\$330,000
New Sidewalk & Curb Construction (3412 Streets-6304)		\$50,000	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000	\$300,000
Paving & Resurfacing (3412 Streets-6304)		\$600,000	\$600,000	\$600,000	\$600,000	\$600,000		\$3,000,000
8 th Street Complex (Renovation/or Relocate) Split with 3412/3513/3181)		\$300,000						\$300,000
TOTAL STREET IMPROVEMENT FUND		\$1,010,000	\$1,410,000	\$710,000	\$700,000	\$700,000	\$100,000	\$4,630,000

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
6 th Street Reconstruction & Downtown Related Street Improvements, Central Ave to US 441	Traffic Impact Fee	\$500,000	\$500,000	\$1,000,000				\$2,000,000
Bradshaw Rd US 441 Traffic Signal		\$400,000						\$400,000
Peterson Rd (End of pavement to Hermit Smirth Rd) 2 lanes				\$750,000				\$750,000
Maine Ave, Martin St to Old Dixie Hwy (2 lanes)					\$1,000,000			\$1,000,000
Martin St, Maine Ave between Park Ave					\$1,600,000			\$1,600,000
Marden Rd (Keene Rd to CR 437A) 2 lanes, Urban Section Improvement		\$500,000	\$500,000					\$100,000
New Sidewalks		\$50,000	\$50,000	\$50,000	\$50,000	\$50,000		\$250,000
Rogers Rd, Lester Rd to Ponkan Rd				\$1,400,000				\$1,400,000
Old Dixie (Hawthorne Ave to Schopke Lester Rd) turn lane, curb, gutter		\$1,000,000						\$1,000,000
Sheeler Ave/Cleveland St Intersection Improvement (turn lanes/traffic light)			\$500,000					\$500,000
Plymouth Rd/Yothers Rd Intersection Improvements		\$500,000						\$500,000

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Piedmont-Wekiwa Rd/Greenacres Rd (Traffic Light)	Traffic Impact Fee (Cont'd)			\$350,000				\$350,000
TOTAL TRAFFIC IMPACT FUND		\$2,950,000	\$1,550,000	\$3,550,000	\$2,650,000	\$50,000	\$0	\$9,850,000
Drainage Upgrading – Citywide (6308)	Stormwater Fund	\$350,000	\$350,000	\$350,000	\$350,000	\$350,000	\$350,000	\$2,100,000
TOTAL STORMWATER FUND		\$350,000	\$350,000	\$350,000	\$350,000	\$350,000	\$350,000	\$2,100,000
Miscellaneous Water Mains (2)	Water Impact Fund	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$500,000
TOTAL WATER IMPACT FUND		\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$600,000
Binion Rd RWM, IFAS to Ocoee Apopka Rd, 5,329 LF,	Reclaim Fund				\$511,584			\$511,584
16" Golden Gem Reuse Station HSP						\$6,500,000		\$6,500,000
Keene Rd RWM, Marden Rd to Ocoee Apopka Rd, 4,413 LF, 36"		\$794,340						\$794,340
Kelly Park Rd RMW II, Jason Dwelley Pkwy to Rock Springs Rd 16", 8,801 LF (2)				\$705,000				\$705,000
Kelly Park Rd RWM, Golden Gem Rd to Round Lake Rd 24"			\$371,400					\$371,400

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Miscellaneous RWM (5)	Reclaim Fund (Cont'd)	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$600,000
Northwest Reclaim Water Pump Station, 2 @ \$3,000			\$700,000					\$700,000
Northwest Reclaim Water Pond 2 & 3		\$250,000						\$250,000
Ocoee Apopka Rd, RWM, Harmon Rd to Alston Bay Blvd, 2,500 LF, 30"		\$412,500						\$412,500
Ocoee Apopka Rd RWM, Keene Rd to Alston Bay Blvd, 4,000 LF 30"		\$660,000						\$600,000
Plymouth Sorrento Rd RWM, Yothers Rd to Ponkan Rd, 4,654 LF 24" (2)			\$670,176					\$670,176
Ocoee Apopka Rd RWM, Keene Rd to Binion Rd, 3,500 LF 30"		\$308,000						\$308,000
Plymouth Sorrento Rd RWM, Ponkan Rd to Kelly Park Rd 2,745 LF, 20" (2)			\$645,000					\$645,000
TOTAL RELAIM FUND		\$2,524,840	\$2,486,576	\$805,000	\$611,584	\$6,600,000	\$100,000	\$13,128,000

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Grossenbacher WTP, Replace Well	Water Impact Fee				\$910,000			\$910,000
Haas Rd WM, Mt. Plymouth Rd to Round Lake Rd, 22,708 LF 12" (1)					\$1,634,976			\$1,634,976
Kelly Park Rd WM, Golden Gem Rd to Round Lake Rd, 4,035 LF 16" (1)			\$387,360					\$387,360
Kelly Park Rd WM, Plymouth Sorrento Rd to Golden Gem, 6,672 LF 12" (1)		\$400,320						\$400,320
Miscellaneous Water Mains (2)		\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$600,000
Mt. Plymouth Water Plant (Well #1) modifications and improvements		\$700,000						\$700,000
Mt. Plymouth Water Plant (Well #4) modifications and improvements			\$900,000					\$900,000
NW WTP (1 MG Storage Tank) (1)				\$850,000				\$850,000
Plymouth Sorrento Rd WM Ponkan Rd to Kelly Park Rd, 10,720 LF 16" (1)				\$1,030,000				\$1,030,000

Comprehensive Plan Element/Project	Source of Funding	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	Totals
Plymouth Sorrento Rd WM, Yothers Rd to Ponkan Rd, 5,423 LF 12" (1)	Water Impact Fund (Cont'd)	\$390,456						\$390,456
Plymouth Regional Water Plant, modifications and improvements Wells #1 & 2			\$900,000					\$900,000
Ponkan Rd, Ponkan Pines to Golden Gem 8,271 LF 12"			\$595,572					\$595,572
Sheeler Oaks WTP 65T .75 MG (1)			\$750,000					\$750,000
Southwest Water Plant (1)						\$4,500,000		\$4,500,000
US 441 WM, Roger Williams Rd to Sheeler Rd (1)				\$240,000				\$240,000
TOTAL WATER IMPACT FUND		\$1,590,776	\$2,245,572	\$2,220,000	\$2,644,976	\$4,600,000	\$100,000	\$13,401,324
Martin's Pond Improvements	Other Funds (TBD)							TBD
TOTAL OTHER FUNDS								TBD

Backup material for agenda item:

2. COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – Owned by Project Orlando, LLC, from Rural Settlement (0-1 du/5 ac) to Residential Very Low Suburban (0-2 du/ac), for property located north of Ponkan Road, east of Golden Gem Road. (Parcel ID #s: 24-20-27-0000-00-005; 24-20-27-0000-00-076)



**CITY OF APOPKA
PLANNING COMMISSION**

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	February 14, 2017
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Future Land Use Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Uses Map

SUBJECT: **COMPREHENSIVE PLAN – LARGE SCALE - FUTURE LAND USE
AMENDMENT – PROJECT ORLANDO LLC**

PARCEL ID NUMBERS: **24-20-27-0000-00-005 & 24-20-27-0000-00-076**

Request: **LARGE SCALE - FUTURE LAND USE AMENDMENT**
FROM: RURAL SETTLEMENT (0-1 DU/5 AC)
TO: RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC)

SUMMARY

OWNER/APPLICANT: Project Orlando LLC c/o James Welborn

LOCATION: North of Ponkan Road, east of Golden Gem Road

EXISTING USE: Container nursery

CURRENT ZONING: AG (Agriculture)

**PROPOSED
DEVELOPMENT:** Vacant

PROPOSED ZONING: A zoning application will be processed during or within six months of the e FLUM
adoption hearing.

TRACT SIZE: 23.43 +/- acres

**MAXIMUM ALLOWABLE
DEVELOPMENT:** EXISTING: 4 units
 PROPOSED: 46 single-family units

DISTRIBUTION:

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	Recreation Director

G:\CommDev\PLANNING ZONING\COMPREHENSIVE PLAN\2017\2017-2 Project Orlando LLC\Planning Commission 2-14-17

ADDITIONAL COMMENTS: The subject parcels were annexed into the City of Apopka on September 7, 2007. The applicant requests a future land use designation of Residential Very Low Suburban. The request is compatible with surrounding future land use designations and adjacent uses. As a “Large-Scale” Future Land use Amendment (i.e., ten or more acres), this application will be transferred to State agencies for consistency review with State policies.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is compatible with the character of the surrounding area and is consistent with the Residential Very Low Suburban land use designation. City planning staff supports the FLUM amendment given the consistency with the Comprehensive Plan policies listed below and the intent of the proposed development as a single-family residential community see (Land Use Analysis below). Site development cannot exceed the intensity allowed by the Future Land Use policies.

Future Land Use Element

1. **Policy 3.1.c** The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

The applicant’s wish to develop the properties for a single-family residential subdivision, which is consistent with Policy 3.1.c.

2. **Policy 3.14** The City shall consider the following when evaluating land use amendments, especially changes from very low density categories to higher density categories and voluntary annexation requests:
 - Whether the amendment demonstrates a functional relationship of the proposed amendment to other more densely or intensely designated or development lands;
 - The availability of public facilities and water supplier to service a more dense or intense land use; and
 - Multi-modal transportation linkages between proposed residential use and neighborhood.

The request for single-family residential development at two (2) dwelling units per acre provides for a transition between the Zellwood Station mobile home and golf development to the south and the rural and single-family homes at lower densities adjacent to the subject properties. Any future residential development will require connection to city water/sewer.

3. **Policy 3.2** Development and redevelopment shall be integrated with the adjacent land uses through: (1) the creation of like uses; or (2) creation of complementary uses; or (3) mitigation of adverse impacts.

The proposed use for the subject properties as a low-density single-family residential development is consistent with the current and future proposed development of the surrounding area. Residential Very Low Suburban future land use designation is within proximity to the subject properties, and is compatible with single-family residential homes immediately adjacent to the subject properties. Any future single-family community will require as part of residential zoning requirements to provide landscape buffers and walls as part of the zoning site requirements to mitigate any adverse impacts.

4. **Policy 3.5** Residential development north of Ponkan Road and west of Rock Springs Road (Park Avenue) will be restricted to no more than two dwelling units per acre, unless otherwise authorized through the adopted Wekiva Parkway Interchange Plan.

The subject properties are located north of Ponkan Road and west of Rock Springs Road. These sites are not within the Wekiva Parkway Interchange Vision Plan area; the request for a Residential Low future land use designation, which allows for a maximum density of two dwelling units per acre is consistent with this policy.

SCHOOL CAPACITY REPORT: An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 13, 2017.

PUBLIC HEARING SCHEDULE:

February 14, 2017 – Planning Commission (5:30 pm)

March 1, 2017 – City Council (1:30 pm) - 1st Reading & Transmittal

DULY ADVERTISED:

January 20, 2017 – Public Notice and Notification

TBD – Ordinance Heading & Public Notice ¼ Page Ad w/Map

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval to transmit a change in Future Land Use from Rural Settlement (0-1 du/5 ac) to Residential Very Low Suburban (0-2 du/ac) for the property owned by Project Orlando, LLC, subject to the information and findings in the staff report.

Recommended Motion: Find the Residential Future Land Use Designation consistent with the Comprehensive Plan and recommend a change in Future Land Use Designation from Rural Settlement (0-1 du/5 ac) to Residential Very Low Suburban (0-2 du/ac) for the properties owned by Project Orlando, LLC, subject to the information and findings in the staff report.

Note: This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City & County)	“City” Conservation & “County” Rural (0-1 du/ac)	“City” A-1 (ZIP) & “County” A-1	Vacant
East (County)	Rural (0-1 du/10 ac)	A-1	Mobile home
South (County)	Rural (0-1 du/10 ac)	P-D	R-0-W & Vacant (Zellwood Country Club)
West (County)	Rural (0-1 du/10 ac)	A-1	Single-family residences

The property has access from the south to W Ponkan Road.

II. LAND USE ANALYSIS

The subject properties are located within an area with land uses that permit low density residential development, including “City” Residential Very Low Suburban land uses less than a quarter-mile east of the subject sites.

City owned conservation properties and other rural, less intense uses to the north. The proposed use as single-family residential is consistent as single-family residences to the west and east, as well as and Zellwood Station, a higher-density golf course and mobile home community to the south of W Ponkan Road.

Therefore, the proposed Residential Very Low Suburban future land use designation is consistent with the general future land use character and long-range planning goals of the surrounding area.

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Northern Tier” of the JPA. Orange County government has been notified of the proposed FLUM amendment and has not objected.

Transportation: Road access to the site from W. Ponkan Road to the south.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and storm water run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features on this property.

Analysis of the character of the Property: The current use of the properties are vacant. The dominant soil, Candler Fine Sand, has a 0-5 percent slope.

Analysis of the relationship of the amendment to the population projections: These properties were annexed into the City on September 7, 2005. Based on the adoption of the JPA, the size of the property, and the proposed land use change, the amendment will increase the population if developed.

CALCULATIONS:

ADOPTED: 4 x 2.659 p/h = 11 persons

PROPOSED: 46 x 2.659 p/h = 122 persons

Housing Needs: This amendment is to change the future land use to a future land use designation that permits residential uses, and will increase the number of available housing units in the City of Apopka.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPCD; 81 GPD

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 784 GPD

3. Projected total demand under proposed designation: 9,016 GPD

4. Capacity available: Yes

5. Projected LOS under existing designation: 81 GPD/Capita

6. Projected LOS under proposed designation: 81 GPD/Capita

7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPCD; 177 GPD

If the site is not currently served, please indicate the designated service provider:
City of Apopka

2. Projected total demand under existing designation: 840 GPD

3. Projected total demand under proposed designation: 9,660 GPD

4. Capacity available: Yes

5. Projected LOS under existing designation: 177 GPCD

6. Projected LOS under proposed designation: 177 GPCD

7. Improved/expansions already programmed or needed as a result of the proposed amendment: None

8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 44 lbs./person/day
4. Projected LOS under proposed designation: 488 lbs./person/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

- Water treatment plant permit number: CUP No. 3217
- Permitting agency: St. John's River Water Management District
- Permitted capacity of the water treatment plant(s): 21,981 mil. GPD
- Total design capacity of the water treatment plant(s): 33,696 mil. GPD
- Availability of distribution lines to serve the property: Yes
- Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 24 hour design storm event.
3. Projected LOS under proposed designation: 100 year - 24 hour design storm event.
4. Improvement/expansion: On-site retention/detention pond

Recreation

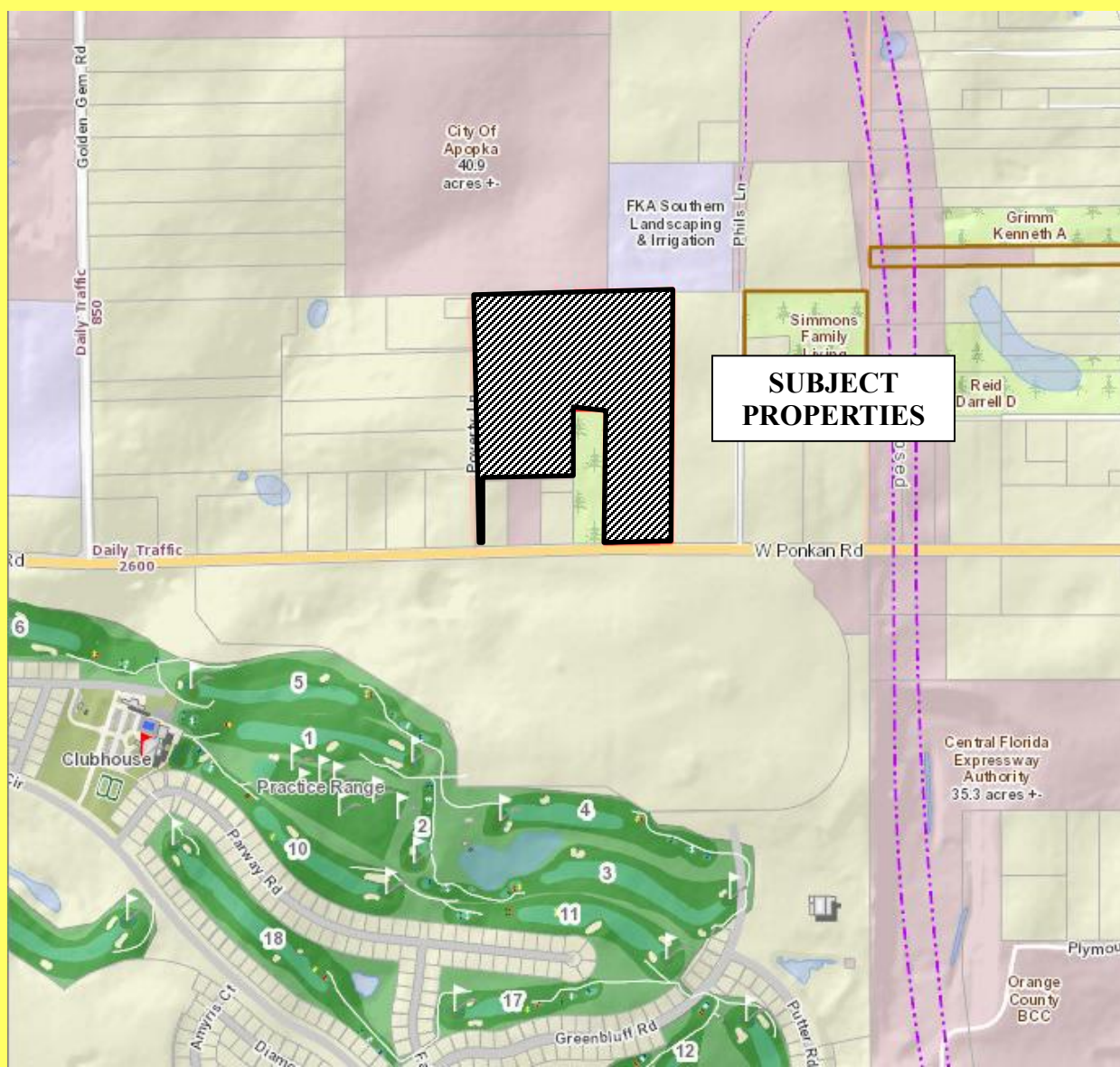
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.033 AC
3. Projected facility under proposed designation: 0.366 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:
None.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Project Orlando LLC
Property Owner
23.43 +/- Acres
Proposed Large Scale Future Land Use Amendment:
From: Rural Settlement (0-1 du/5 ac)
To: Residential Very Low Suburban (0-2 du/ac)
Proposed Change of Zoning:
From: AG (Agriculture)
To: TBD at time of FLUM adoption
Parcel ID #s: 24-20-27-0000-00-005 & 24-20-27-0000-00-076



VICINITY MAP



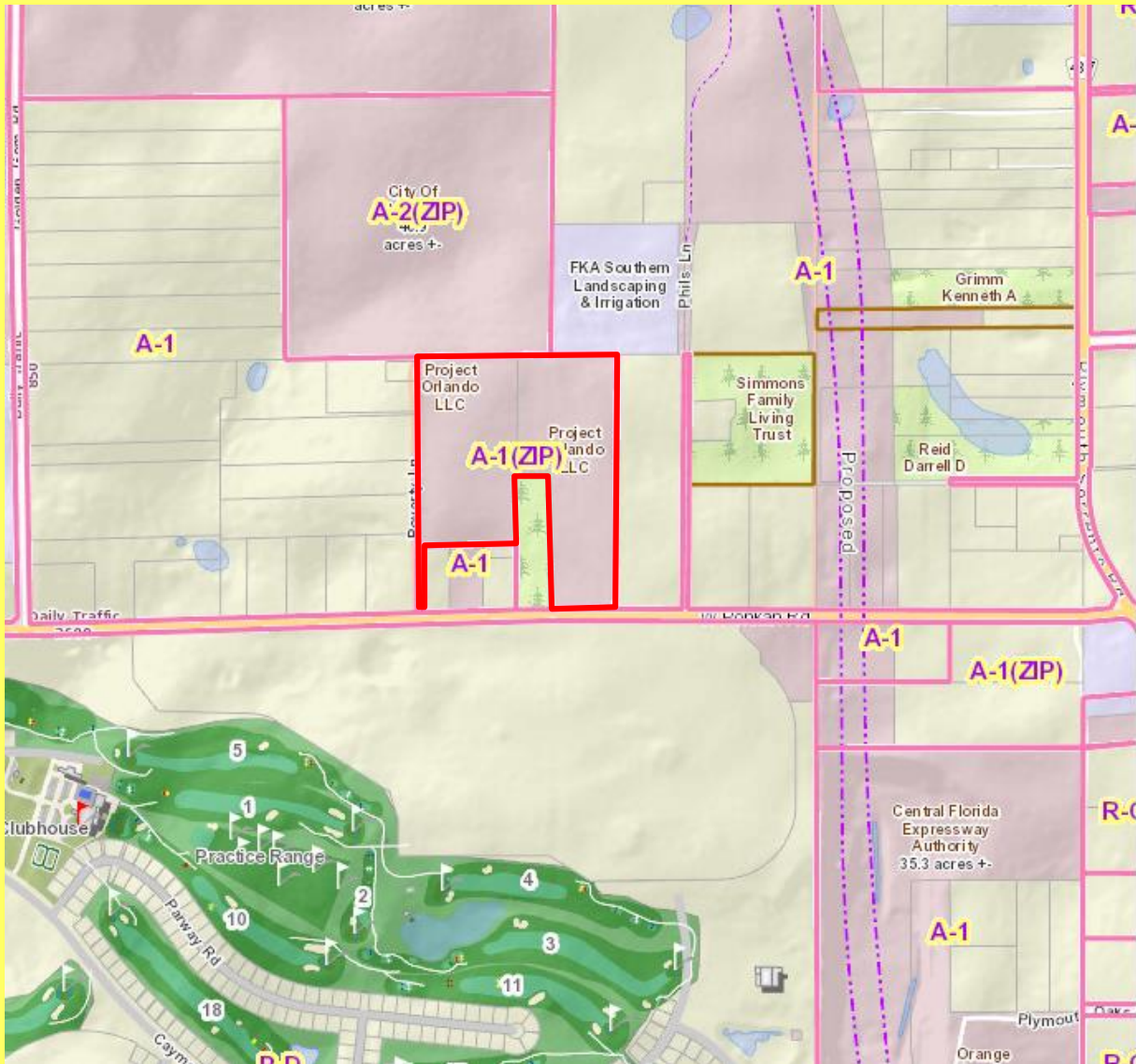


FUTURE LAND USE MAP

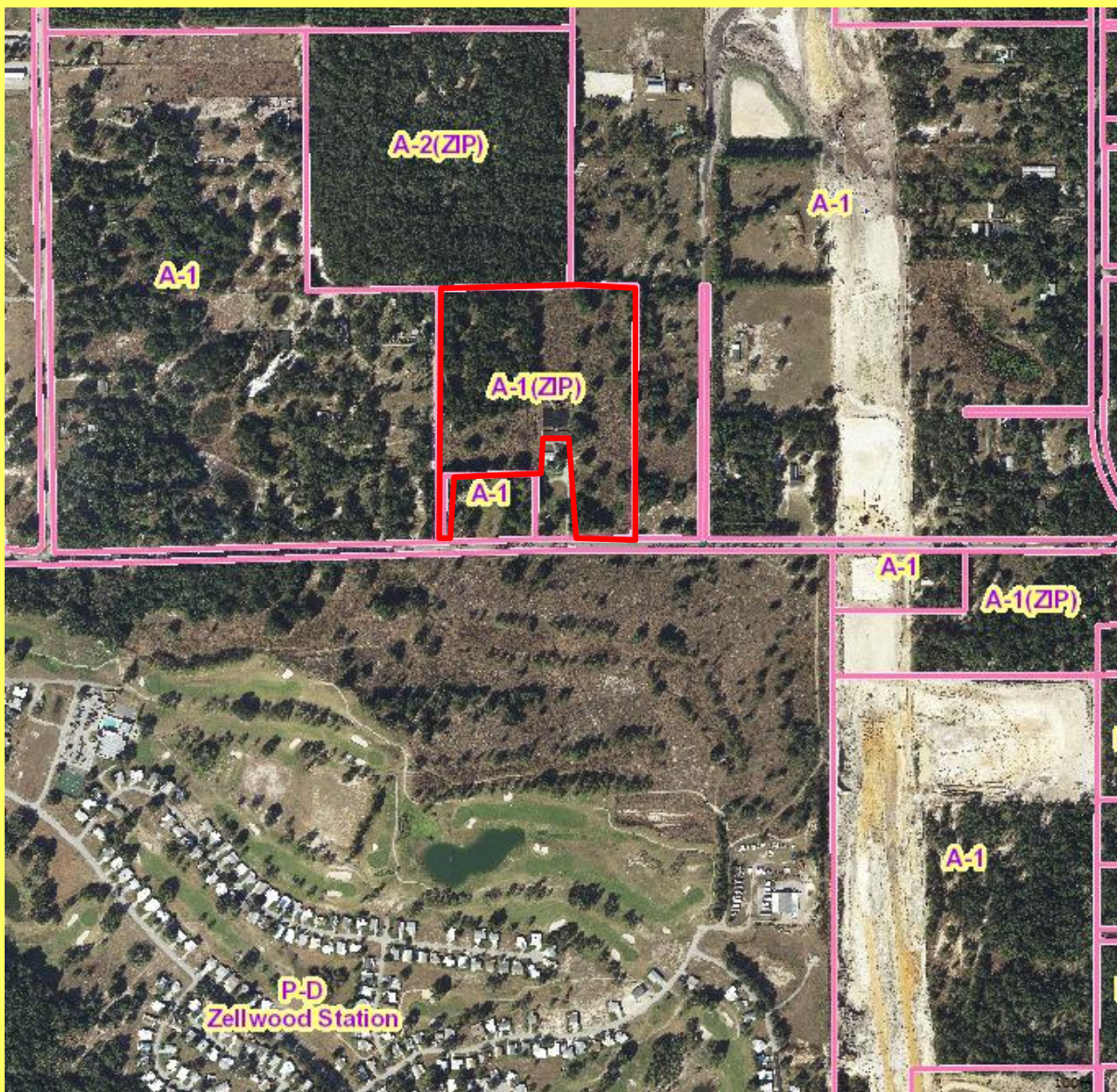




ADJACENT ZONING



ADJACENT USES





EXISTING USES



Backup material for agenda item:

3. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Apopka Holdings, LLC, from “County” Low Density Residential (0-4 du/ac) to “City” Office (Max. 0.3 FAR), for property located at 1109 South Park Avenue and 157 Rand Court. (Parcel ID #s: 15-21-28-7540-000-771; 15-21-28-7540-00-772)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	February 14, 2017
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Uses

SUBJECT: **COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE
AMENDMENT - APOPKA HOLDINGS LLC**

PARCEL ID NUMBER: **09-21-28-7540-00-771 & 09-21-28-7540-00-772**

Request: **COMPREHENSIVE PLAN - SMALL SCALE - FUTURE LAND USE
AMENDMENT**
FROM: **“COUNTY” LOW DENSITY RESIDENTIAL (0-4 DU/AC)**
TO: **“CITY” OFFICE (MAX. FAR 0.30)**

SUMMARY

OWNER/APPLICANT: Apopka Holdings LLC

LOCATION: 1109 S Park Avenue & 157 Rand Court

EXISTING USE: Single-family residence

CURRENT ZONING: “County” R-3 (ZIP)

DEVELOPMENT POTENTIAL: maximum 10,715 sq. ft. office use (.30 floor area ratio)

PROPOSED ZONING: “City” PUD/PO/I (Professional Office/Institutional) (Note: this Future
Land Use Map amendment request is being processed along with a request
to change the Zoning Map designation from “County”R-3 (ZIP) to “City”
PUD/PO/I.)

TRACT SIZE: 0.82 +/- acres

**MAXIMUM ALLOWABLE
DEVELOPMENT UNDER
ZONING DISTRICT:** **EXISTING:** Single-family residence
PROPOSED: Up to 10,715 sq. ft. office use.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	Recreation Director

ADDITIONAL COMMENTS: Applicant intends to use the subject property for a parking lot to meet minimum parking requirements for the Central Florida Recovery Center, located on the opposite side of Park Avenue\Clarcona Road. Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Office (max FAR of 0.3) to the property.

The subject properties were annexed into the City of Apopka on February 1, 2017, through the adoption of Ordinance No. 2546. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Office is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 0.82 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office (max 0.3 FAR) Future Land Use designation and the City’s proposed PUD/PO/I Zoning.

SCHOOL CAPACITY REPORT: Because this request represents a change to a non-residential future land use designation and zoning classification, school capacity determination by Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 13, 2017.

PUBLIC HEARING SCHEDULE:

February 14, 2017 - Planning Commission (5:30 pm)
March 1, 2017 - City Council (1:30 pm) - 1st Reading
March 15, 2017 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

February 3, 2017 – Public Notice and Notification
March 10, 2017 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from “County” Low Density Residential (0-4 du/ac) to “City” Office (max 0.3 FAR) for the properties owned by Apopka Holdings LLC and located at 1109 S Park Avenue & 157 Rand Court.

Recommended Motion: Find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend to amend the Future Land Use Map designation from “County” Low Density Residential to “City” Office.

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial (max 0.6 FAR)	I-1	Vacant industrial
East (County)	Low Density Residential (0-4 du/ac)	R-3	Single-family residences
South (County)	Low Density Residential (0-4 du/ac)	R-3	Single family residence
West (City)	Residential Low (0-5 du/ac) & Office (max 0.3 FAR)	R-3 & PUD/PO/I/Residential	Church (St. Paul AME Church) and Central Florida Recovery Center Office/Inpatient Residential

II. LAND USE ANALYSIS

The applicant intends to redevelop the property for use for off-site parking to serve the approved mental health and substance abuse center located on the west side of Park Avenue\Clarcona Road. If all the land is not needed to accommodate parking needs for the Central Florida Recovery Center, a small office building may be constructed on the subject property. The proposed future land use of Office and use for the property is compatible with the general character of the surrounding neighborhood. Predominant existing land uses and assigned zoning in the abutting and surrounding area industrial are single family residential and religious facilities, with Office future land use to the west of subject sites (under the same ownership as the subject sites), and Industrial land use to the north.

North: Abutting the subject property to the north are vacant industrial properties with industrial and commercial buildings to the north of this vacant property.

West: The subject properties front S. Park Ave. to the west, with St. Paul AME Church and the approved Central Florida Recovery Center properties to the west. These uses have Residential Low and Office future land use designations, respectively.

South: Single family homes abut the subject property directly to the south. While the areas to the south are predominantly single family residential, commercial-zoned nodes do occur approximately 600 feet away.

East: Properties to the east are located within unincorporated Orange County and are used currently for single-family residences and have a Low Density Residential land use designation.

The proposed future land use designation of “City” Office serves as a transitional land use between the residential uses to the east and south, as well as the institutional uses to the west and industrial land uses to the north.

Therefore, staff supports the proposed future land use changes.

Other Information:

Wekiva River Protection Area: No

Area of Critical State Concern: No

DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within “Core Area” of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The properties front S Park Avenue. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain has a 0-5 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.j Office Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Office (max FAR 0.3). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): 3 Unit(s) x 2.659 p/h = 8 persons

PROPOSED (City designation): N/A, no residential.

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the Orange County Utilities service area for potable water, reclaimed water and sanitary service. The property owner will need to provide a letter from Orange County Utilities demonstrating available capacity prior to submittal of any development plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate designated service provider: City of Apopka

2. Projected total demand under existing designation: 588 GPD
3. Projected total demand under proposed designation: 1,607 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka ; 177 GPD/Capita; 177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 1,362 GPD
3. Projected total demand under proposed designation: 2,143 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 32 lbs./person/day
4. Projected LOS under proposed designation: 21 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant 47 21,981 GPD

Total design capacity of the water treatment plant(s): 33.696 GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: No

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 25 hour design storm
3. Projected LOS under proposed designation: 100 year - 25 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.024 AC
3. Projected facility under proposed designation: N/A AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



Apopka Holdings, LLC
Proposed Small Scale Future Land Use Amendment:
From: “County” Low Density Residential (0-4 du/ac)

To: “City” Office (max 0.3 FAR)

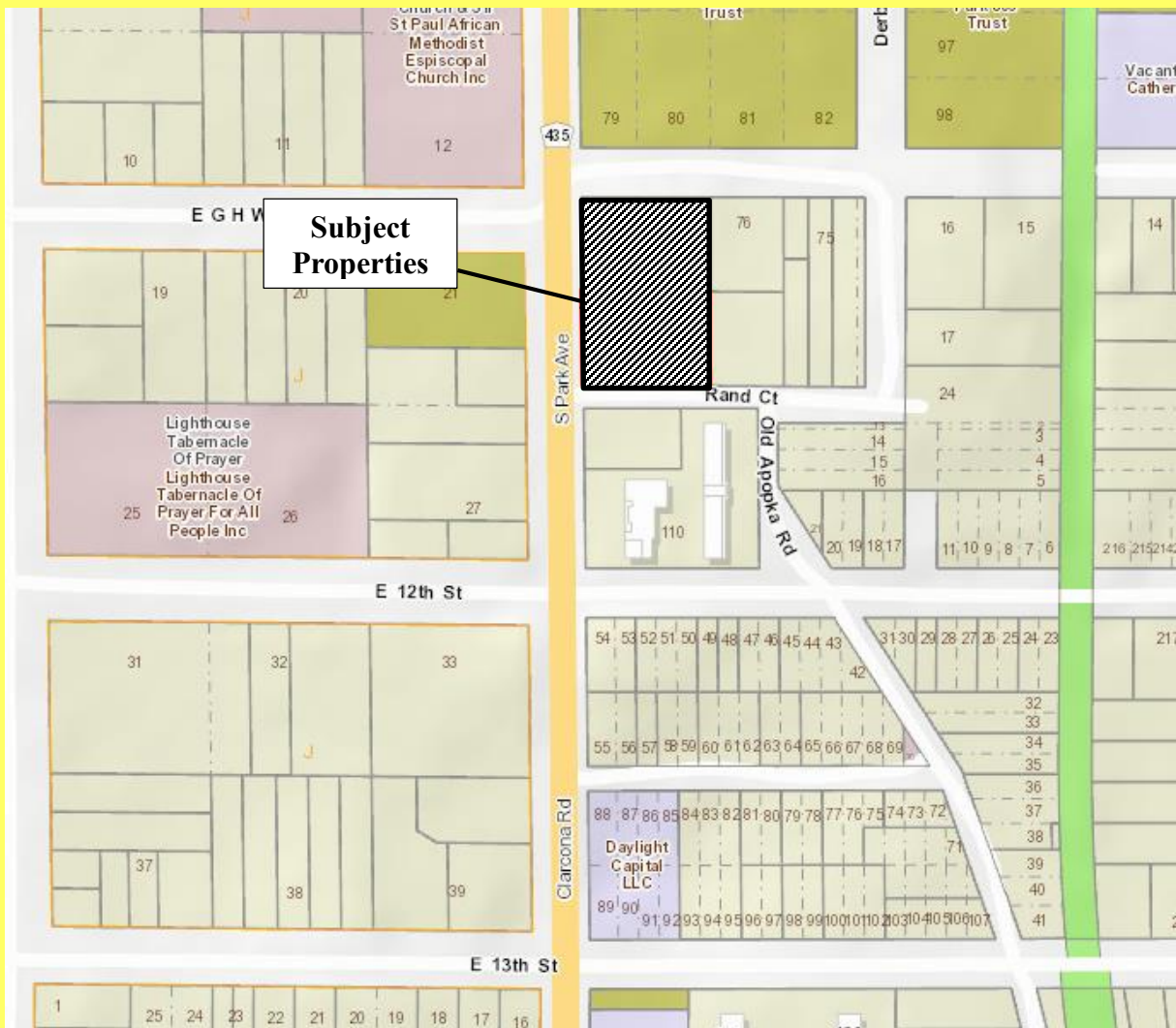
Proposed Change of Zoning:

From: “County” R-3 (Residential)

To: “City” PUD/PO/I (Planned Unit Development/Professional Office/Institutional)

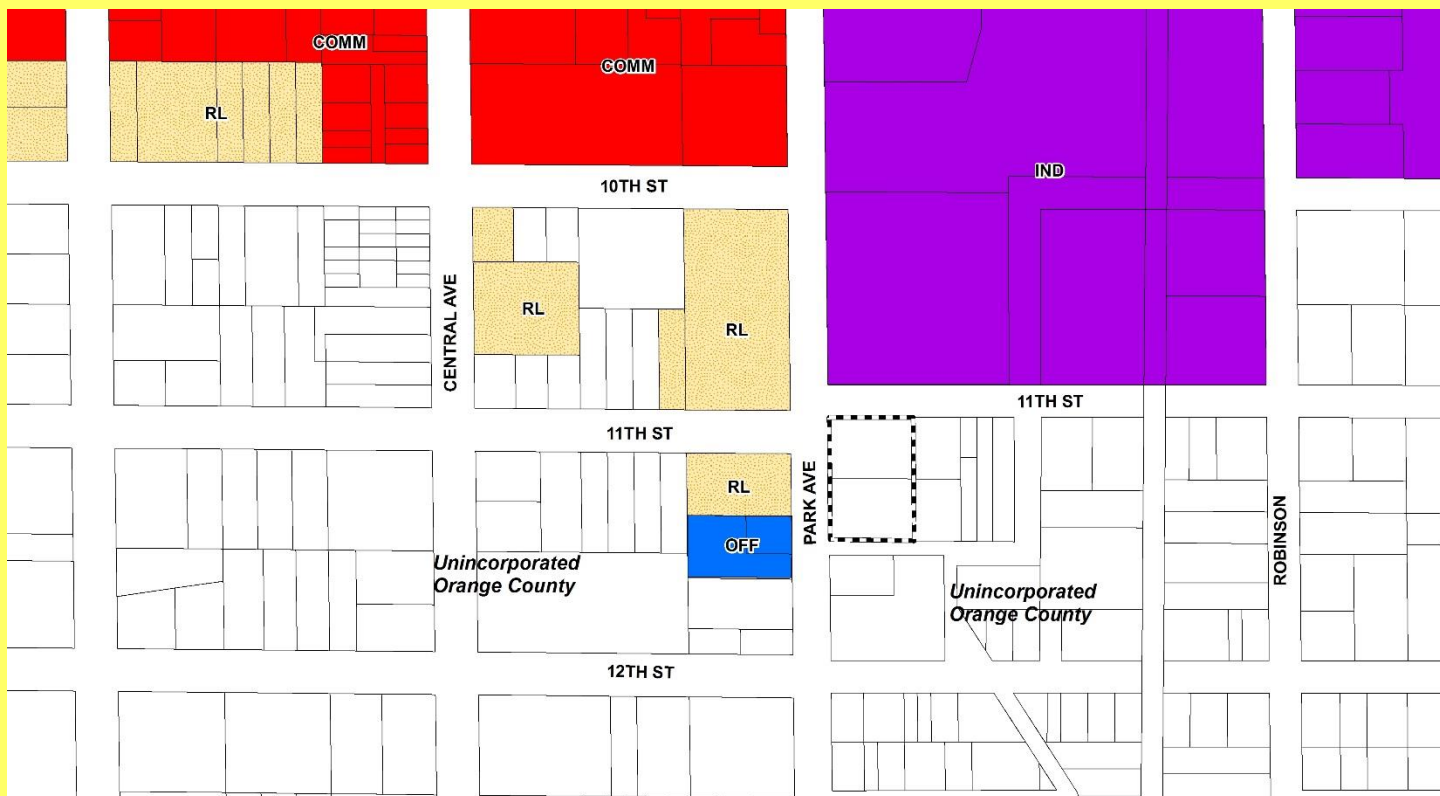
Parcel ID #s: 15-21-28-7540-00-771; -772

VICINITY MAP



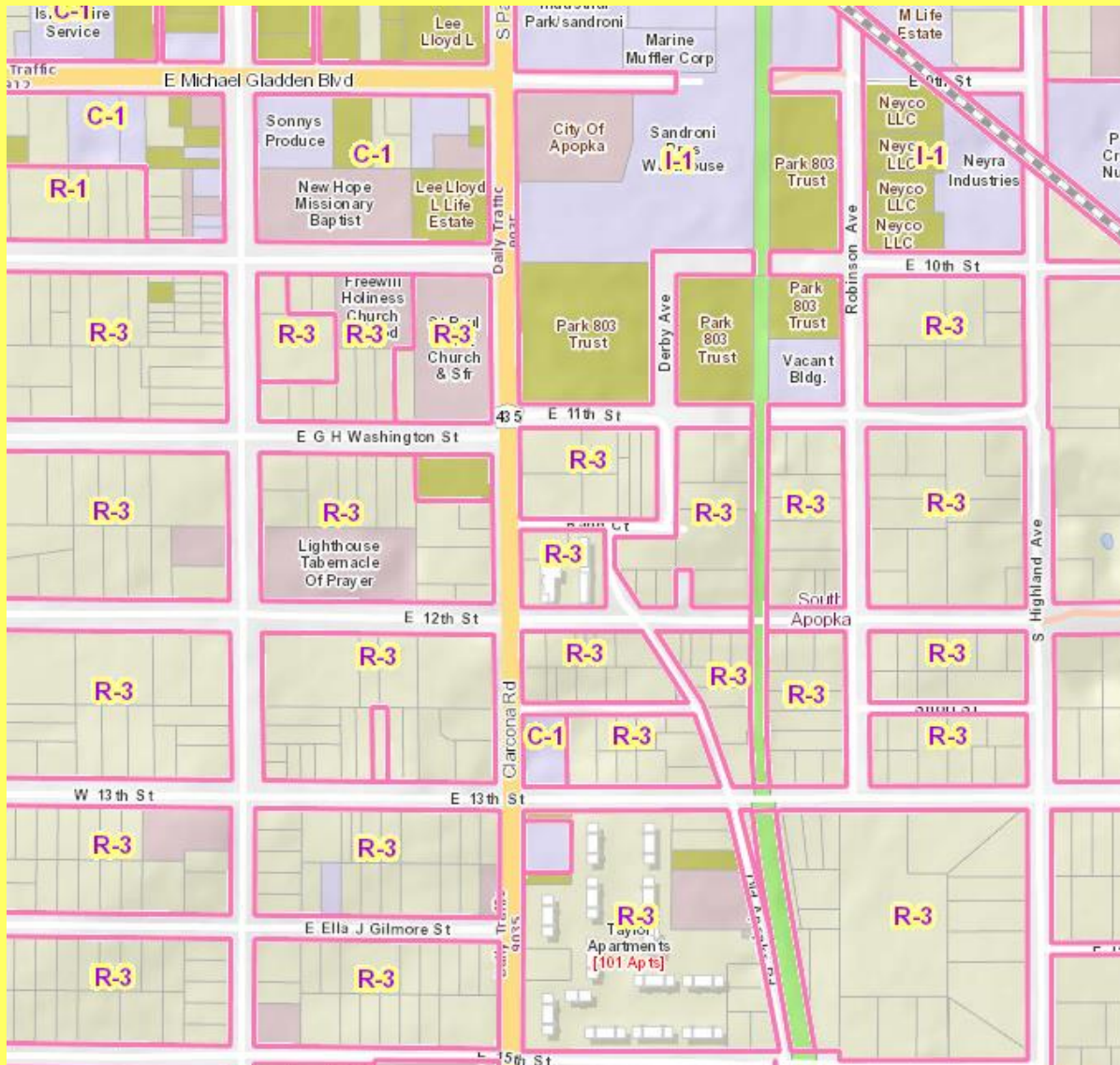


FUTURE LAND USE MAP



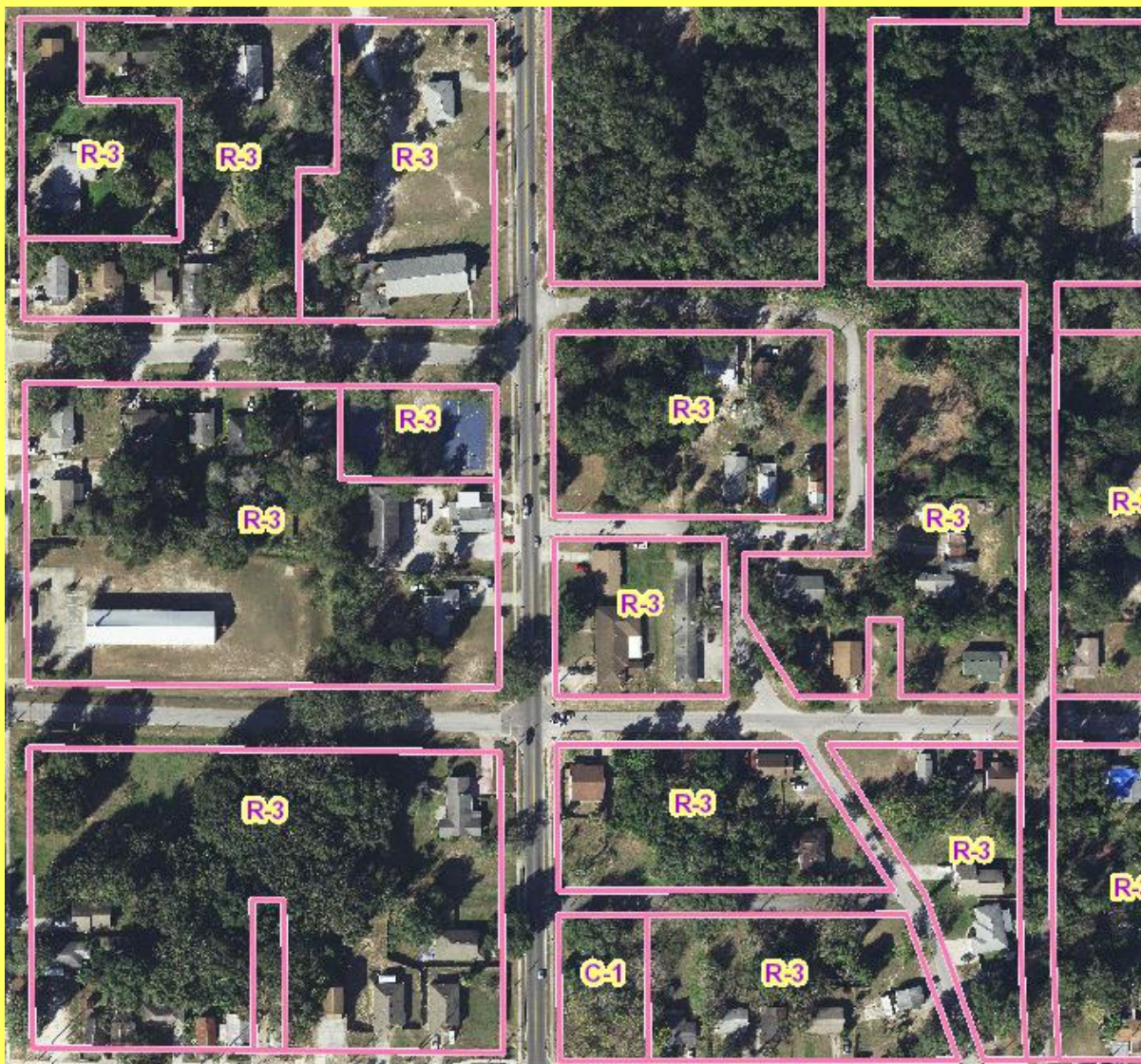


ADJACENT ZONING



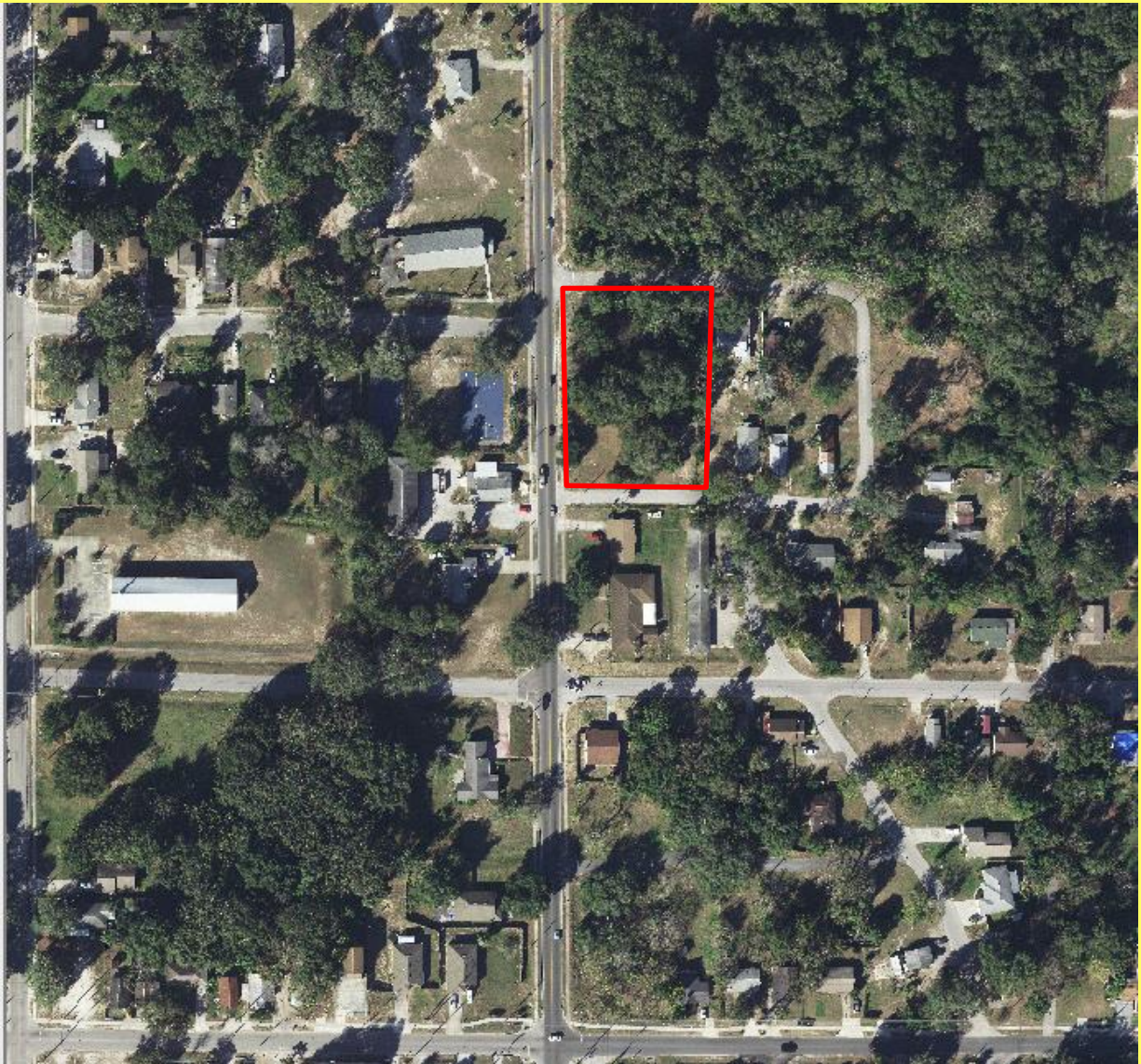


ADJACENT USES





EXISTING USES



Backup material for agenda item:

4. CHANGE OF ZONING – Owned by Apopka Holdings, LLC, from “County” R-3 (Residential) to “City” Planned Unit Development (PUD/PO-I), for property located at 1109 South Park Avenue and 157 Rand Court. (Parcel ID #s: 15-21-28-7540-000-771; 15-21-28-7540-00-772)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ ANNEXATION
☐ PLAT APPROVAL
☐ OTHER:

DATE: February 14, 2017
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Existing Use Map

SUBJECT: CHANGE OF ZONING – APOPKA HOLDINGS, LLC

PARCEL ID NUMBER: 09-21-28-7540-00-771 & 09-21-28-7540-00-772

Request: CHANGE OF ZONING
FROM: “COUNTY” R-3 (RESIDENTIAL)
TO: PLANNED UNIT DEVELOPMENT (PUD - PO/I - RESIDENTIAL) (MAX. 0.30 FAR)

SUMMARY

OWNER/APPLICANT: Apopka Holdings, LLC

LOCATION: 1109 S Park Avenue & 157 Rand Court

EXISTING USE: Single-family residential homes

FLUM DESIGNATION: “County” Low Density Residential (0 – 4 du/ac)

CURRENT ZONING: “County” R-3 (ZIP)

DEVELOPMENT POTENTIAL: maximum 10,715 sq. ft. office use (.30 floor area ratio)

PROPOSED ZONING: Planned Unit Development (PUD/PO/I) (Note: this Change of Zoning request is being processed along with the request to change the Future Land Use Map designation to “City” Office)

TRACT SIZE: 0.82 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: Single-family residences
PROPOSED: maximum of 10,715 sq. ft. office use

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

G:\CommDev\PLANNING ZONING\REZONING\2017\Apopka Holdings LLC\Planning Commission 2-14-17

ADDITIONAL COMMENTS: The subject properties were annexed into the City of Apopka on February 1, 2017 via Ordinance 2546. The applicant requests the change of zoning to PUD/PO/I to accommodate off-site parking to serve the existing Central Florida Recovery Center properties owned by the applicant. If the subject site accommodates the parking requirements for Central Florida Recovery Center, applicant may desire to construct a 2,000 sq. ft. office building on the site as well, subject to demonstrating that sufficient parking is available for the subject property and for the Central Florida Recovery Center.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

RECOMMEDED PUD ZONING AND DEVELOPMENT STANDARDS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be: the subject property shall be used for parking to accommodate the parking requirements for the Central Florida Recovery Center located on Parcel Numbers 09-21-28-0917-10-211 and 09-21-28-0917-10-213. If another site is used and developed to accommodate this parking need for Central Florida Recovery, then the following all uses permitted within the PO/I (Professional Office/Institutional PO\I (zoning category) are allowed except for following PO/I uses shall be prohibited:
1. Hospitals, museums, libraries or cultural institutions;
 2. Retail establishments, including those for the sale of pharmaceutical, medical and dental supplies or other hospital-related items;
 3. Boarding or rooming house(s);
 4. All other uses listed as prohibited within the Professional Office/Institutional zoning district;
 5. Pharmacy;
 6. All uses permitted through a special exception within the Professional Office/Institutional zoning district.
- B. Unless otherwise approved by City Council through an alternative development guideline that is adequate to protect the public health safety and welfare, the following development standards shall apply to the development of the Property and for the Final Development/master site plan:

Building Design Standards:

1. New development shall have architectural features and materials that are residential in character.
 - a. Any office structure shall have a roof with a 4-to-1 pitch and shall be shingled or tiled.
 - b. Maximum number of stories allowed is two (2). Maximum building height of thirty-five (35) feet.
 - c. Windows shall include fenestration detail and/or shutters.

- d. All ground and rooftop utilities shall be screened from view from any public street or adjacent property.
- e. A main building entrance shall face a public street.

Building Design Guidelines

- 1. Building exterior design uses residential-scale fenestration that may include:
 - i. Windows with multi-pane glazing
 - ii. Dormers or similar architectural features
 - iii. Roof overhang, cornice, eaves, soffits
- 2. Building façades that are modulated into house-sized segments or broken into separate buildings are encouraged.
- 3. A portico or porch is encouraged to define a main building entrance.
- 4. The total area of the first floor of a building shall not exceed 12,000 sq. ft. and the total gross floor area of a building shall not exceed 18,000 sq. ft. The minimum and maximum floor area does not apply to churches.

Site Design Standards:

- 1. The front façade and primary entrance of the building shall be oriented toward the front of the property.
 - 2. Minimum front setback of 15 ft. and a maximum of 25 ft.
 - 3. Parking lot shall be screened from the public street by a hedge and wrought-iron style fence or a 3-foot decorative stone wall.
 - 4. Parking is located at the rear or side of any building.
- C. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:
- 1. Permit a single six-month extension for submittal of the required Final Development Plan;
 - 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
 - 3. Rezone the property to a more appropriate zoning classification.
 - 4. The site shall provide a six-foot brick/masonry wall along the southern and eastern portions of the subject properties adjacent to residential uses.
 - 5. The subject properties shall meet all other buffer yard and landscaping requirements, as defined in the Apopka Land Development Code.

6. The applicant must demonstrate through the Final Development Plan that sufficient parking exists to support off-site parking requirements for existing Central Florida Recovery Center properties west of Park Avenue, as well as any future professional office development on-site.
7. Connection to City central water and sewer service is required prior to issuance of a certificate of occupancy for any future office development.
8. The applicant must receive approval for the location of a crosswalk from the subject properties to the existing Central Florida Recovery Center properties; the approved crosswalk location shall be identified on the Final Development Plan.
9. Unless otherwise provided herein, the design of the site through a Master Plan\Final Development Plan shall occur consistent with development standards for the PO/I zoning district. Modifications to the Final Development Plan may be approved by the Development Review Committee if determined to be an insubstantial change by the Community Development Director.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office Future Land Use designation and the City’s proposed Planned Unit Development (PUD/PO/I) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this Change of Zoning represents a change to a non-residential underlying zoning classification, a capacity enhancement agreement with Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 13, 2017.

PUBLIC HEARING SCHEDULE:

February 14, 2017 - Planning Commission (5:30 pm)
March 1, 2017 - City Council (1:30 pm) - 1st Reading
March 15, 2017 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

February 3, 2017 – Public Notice and Notification
March 10, 2017 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in zoning from R-3 (ZIP) to Planned Unit Development (PUD/PO/I) subject to the PUD zoning and developments standards for the property owned by Apopka Holdings, LLC.

Recommended Motion: Find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the change in zoning from R-3 (ZIP) to Planned Unit Development (PUD/PO/I) subject to the PUD zoning and developments standards for the property owned by Apopka Holdings, LLC.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial (max 0.6 FAR)	I-1	Vacant industrial
East (County)	Low Density Residential (0-4 du/ac)	R-3	Single-family residences
South (County)	Low Density Residential (0-4 du/ac)	R-3	Single family residence
West (City)	Residential Low (0-5 du/ac) & Office (max 0.3 FAR)	R-3 & PUD/PO/I/Residential	Church (St. Paul AME Church) and Central Florida Recovery Center Office/Inpatient Residential

LAND USE COMPATIBILITY:

The proposed zoning and use is compatible with adjacent zoning districts and the general character of the surrounding area. Predominant land uses in the abutting and surrounding area are single family residential and religious facilities. Parcels abutting to the west across S Park Avenue are for a church – the St. Paul African Methodist Episcopal Church, as well as the existing Central Florida Recovery Center owned by the applicant, institutional and office uses, respectively. In addition, the area contains other non-residential land uses, including industrial north and commercial to the south of the subject sites.

The underlying PO/I zoning serves as a transitional zoning between the residential uses to the east and south, to the institutional and industrial zoning uses and zoning to the west and north of the subject properties.

The Land Use Compatibility supporting information from the Future Land Use amendment is incorporated into the findings of the Zoning Report.

TRAFFIC COMPATIBILITY: The property has access to a Minor Arterial roadway (S. Park Avenue/ Clarcona Road). A medical office/clinic is a permissible use within the PO/I zoning category. Future land use designations and zoning categories assigned to properties to the north, south, east, and west is predominantly residential, industrial and commercial.

COMPREHENSIVE PLAN COMPLIANCE: The proposed PUD/PO/I/Residential zoning is compatible with policies set forth in the Comprehensive Plan. The underlying PO/I zoning standards within the proposed PUD are as follows:

PO/I DISTRICT REQUIREMENTS:

FAR:	0.30 (max.)
Open Space:	30 percent
Minimum Site Area:	10,000 sq. ft.
Minimum Lot Width:	85 ft.
Setbacks: Front:	25 ft.
Side:	10 ft.
Corner:	25 ft.
Rear:	10 ft.
Adjacent to Residential:	25 ft.

**BUFFERYARD
REQUIREMENTS:**

Areas adjacent to all road rights-of-way shall provide a minimum ten (10) foot landscaped bufferyard. Areas adjacent residential use shall provide a minimum six (6) foot masonry wall within a ten (10) foot landscaped bufferyard.

**ALLOWABLE
USES:**

Professional offices, medical or dental clinics and offices, establishments for the retail sale of pharmaceutical, medical and dental supplies, hospitals, museums, libraries, churches and educational facilities.



Proposed Small Scale Future Land Use Amendment:

From: “County” Low Density Residential (0-4 du/ac)

To: “City” Office (max 0.3 FAR)

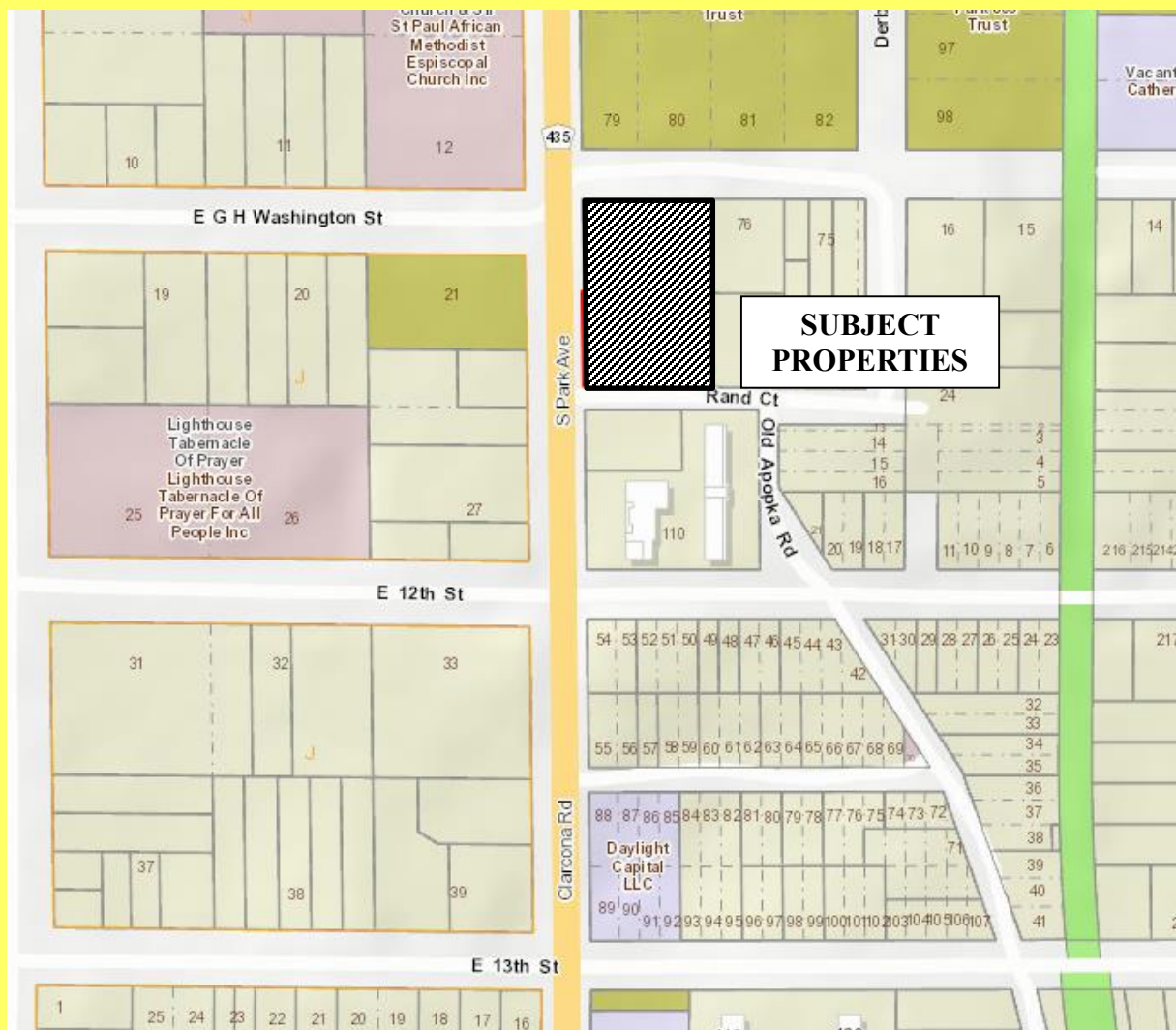
Proposed Change of Zoning:

From: “County” R-3 (Residential)

To: “City” PUD/PO/I (Planned Unit Development/Professional Office/Institutional)

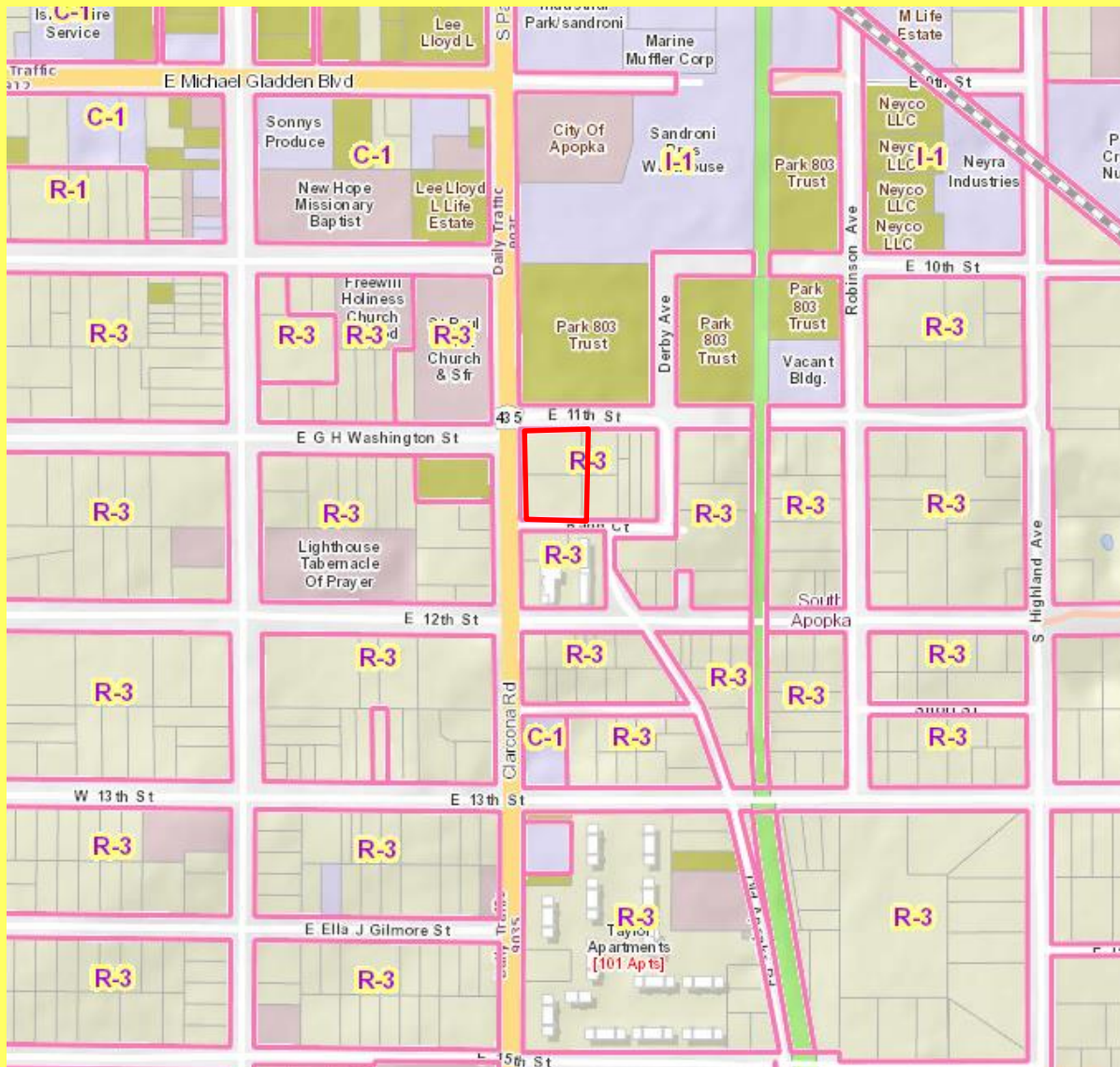
Parcel ID #s: 15-21-28-7540-00-771; -772

VICINITY MAP



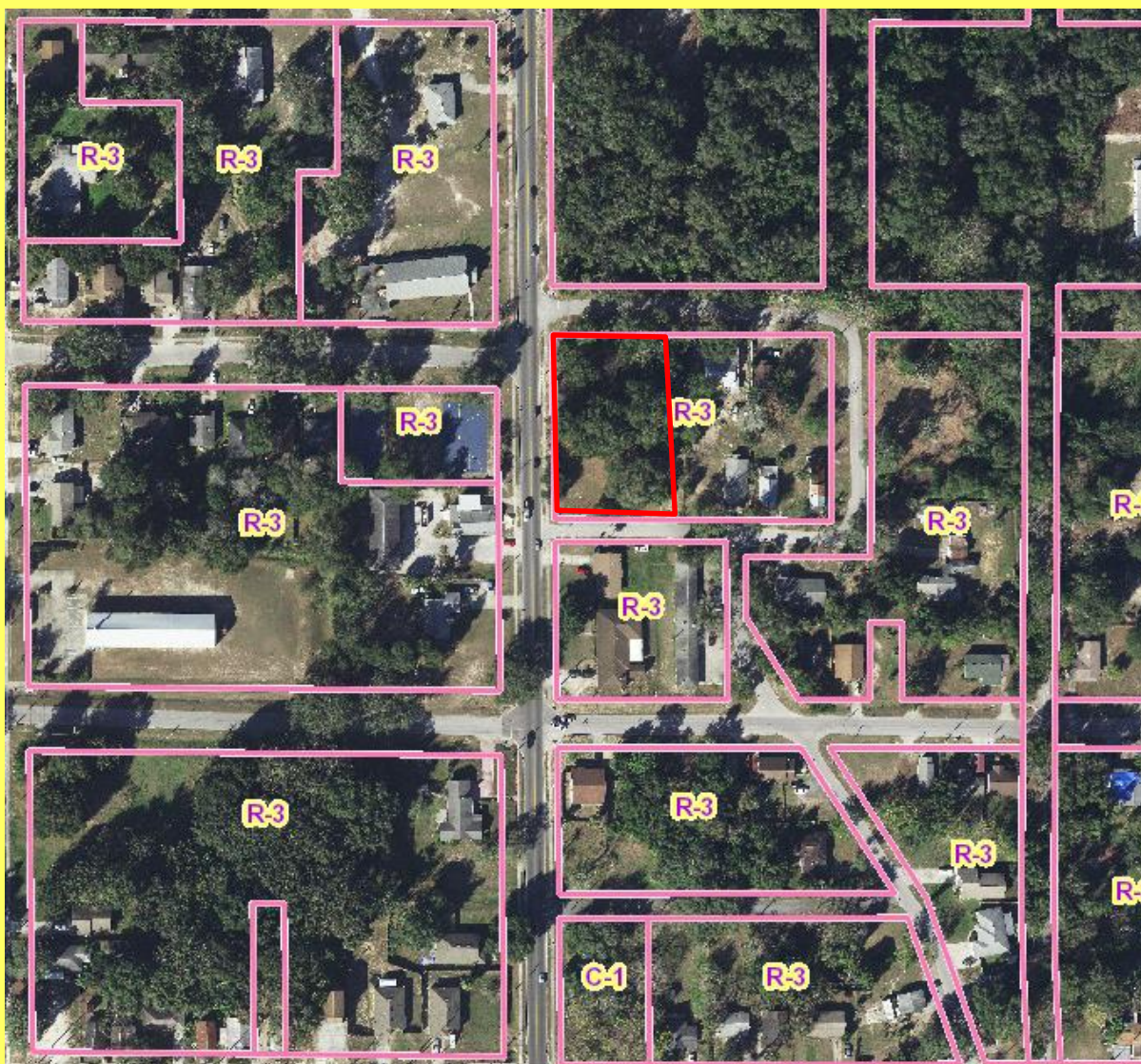


ADJACENT ZONING



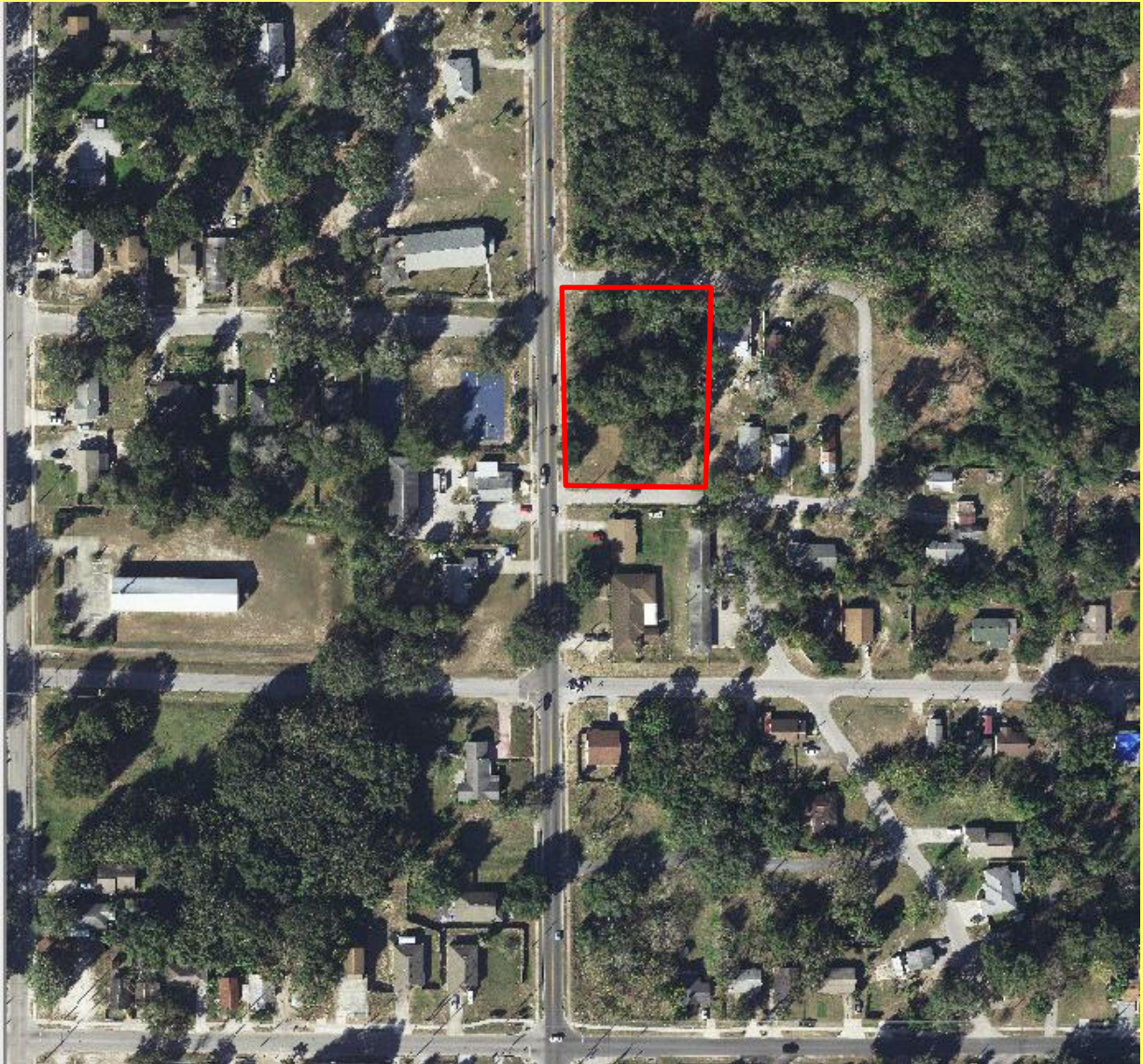


ADJACENT USES





EXISTING USES



Backup material for agenda item:

5. COMPREHENSIVE PLAN – SMALL SCALE – ADMINISTRATIVE FUTURE LAND USE AMENDMENT –
Owned by Smith Family Revocable Trust, applicant is the City of Apopka, from “County” Rural (1 du/10 ac)
to “City” Agriculture (1 du/5 ac), for property located east of Mt. Plymouth Road, south of Boch Road.
(Parcel ID #s: 06-20-28-0000-00-047; 06-20-28-0000-00-066)

ADDITIONAL COMMENTS: Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning and future land use classification be assigned to annexed properties. The subject property was annexed into the City of Apopka on December 29, 2010, through the adoption of Ordinance No. 2202. Staff is requesting an administrative small scale future land use amendment for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city future land use designation is comparable to the densities and intensities and uses allowed under the existing “county” future land use designation, and the proposed future land use amendment is compatible with the character of the surrounding area.

The subject property is located in an area characterized as agricultural in nature, with “County” Rural future land use to the north and west of the subject property, and single-family residential to the east and proposed S.R. 429\Wekiva Parkway south of the site. The existing and proposed use of the subject site for manufactured homes is a permitted use in the proposed AG zoning district and future land use designation and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with “City” AG (Agriculture) Future Land Use designation and the City’s proposed Agriculture Zoning.

SCHOOL CAPACITY REPORT: The request of the proposed rezoning would result in a number of residential units considered ‘de minimum’ and, therefore, a school capacity determination is not required for the subject properties.

JOINT PLANNING AREA/OVERLAY: The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

PUBLIC HEARING SCHEDULE:

February 14, 2017 – Planning Commission (5:30 pm)
March 1, 2017 – City Council (1:30 pm) – 1st Reading
March 15, 2017 – City Council (7:00 pm) – 2nd Reading

DULY ADVERTISED:

January 27, 2017 – Public Notice and Notification
March 3, 2017 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from “County” Rural (1 du/ 10 ac) to “City” AG (Agriculture) (1 du/5 ac) for the property owned by Smith Family Revocable Living Trust.

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (0 – 1 du/10 acres)	A-2	Single-family home
East (City)	Agriculture (0 – 1 du/5 acre)	A-2 (ZIP)	Single-family home
South (City)	Rural Settlement (0 – 1 du/5 acres) (county)	A-2 (ZIP)	Proposed 429
West (County)	Rural Settlement (0 – 1 du/5 acres)	A-2	Agriculture

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with the current agricultural uses. The property is east of Mt. Plymouth Road, south of Boch Road.

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within “North Area” of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and storm water run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features on this property.

Analysis of the character of the Property: The property fronts Boch Road. The vegetative communities present are urban; the soils present are Tavares-Millhopper Fine sand; and no wetlands occur on the site, and the terrain has a 0-5 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.m Agricultural Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Agriculture (1 du/5 ac). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): 1 Unit(s) x 2.659 ~~du/5 ac~~ = 2.659 persons
PROPOSED (City designation): 1 Unit(s) x 2.65 68 = 2.659 persons

Housing Needs: This amendment will not impact the housing needs as projected in the Comprehensive Plan. One single family home is the maximum development anticipated for the subject properties.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the Orange County Utilities service area for potable water, reclaimed water and sanitary service. The property owner will need to provide a letter from Orange County Utilities demonstrating available capacity prior to submittal of any development plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 196 GPD
3. Projected total demand under proposed designation: 196 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita;
177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 210 GPD
3. Projected total demand under proposed designation: 210 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: none
2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 4 lbs./person/day
4. Projected LOS under proposed designation: 4 lbs./person/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217
Permitting agency: St. John's River Water Management District
Permitted capacity of the water treatment plant(s): 21.981 GPD
Total design capacity of the water treatment plant(s): 33.696 GPD
Availability of distribution lines to serve the property: Yes
Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 25 hour design storm
3. Projected LOS under proposed designation: 100 year - 25 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.009 AC
3. Projected facility under proposed designation: 0.009 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

SMITH FAMILY REVOCABLE LIVING TRUST

Boch Rd.

4.01 +/- Acres

Existing Maximum Allowable Development: 1 dwelling unit

Proposed Maximum Allowable Development: 1 dwelling unit

Proposed Small Scale Future Land Use Change

From: "County" Rural/Agricultural (1 du/10 ac)

To: "City" Agriculture (1 du/5 ac)

Proposed Zoning Change

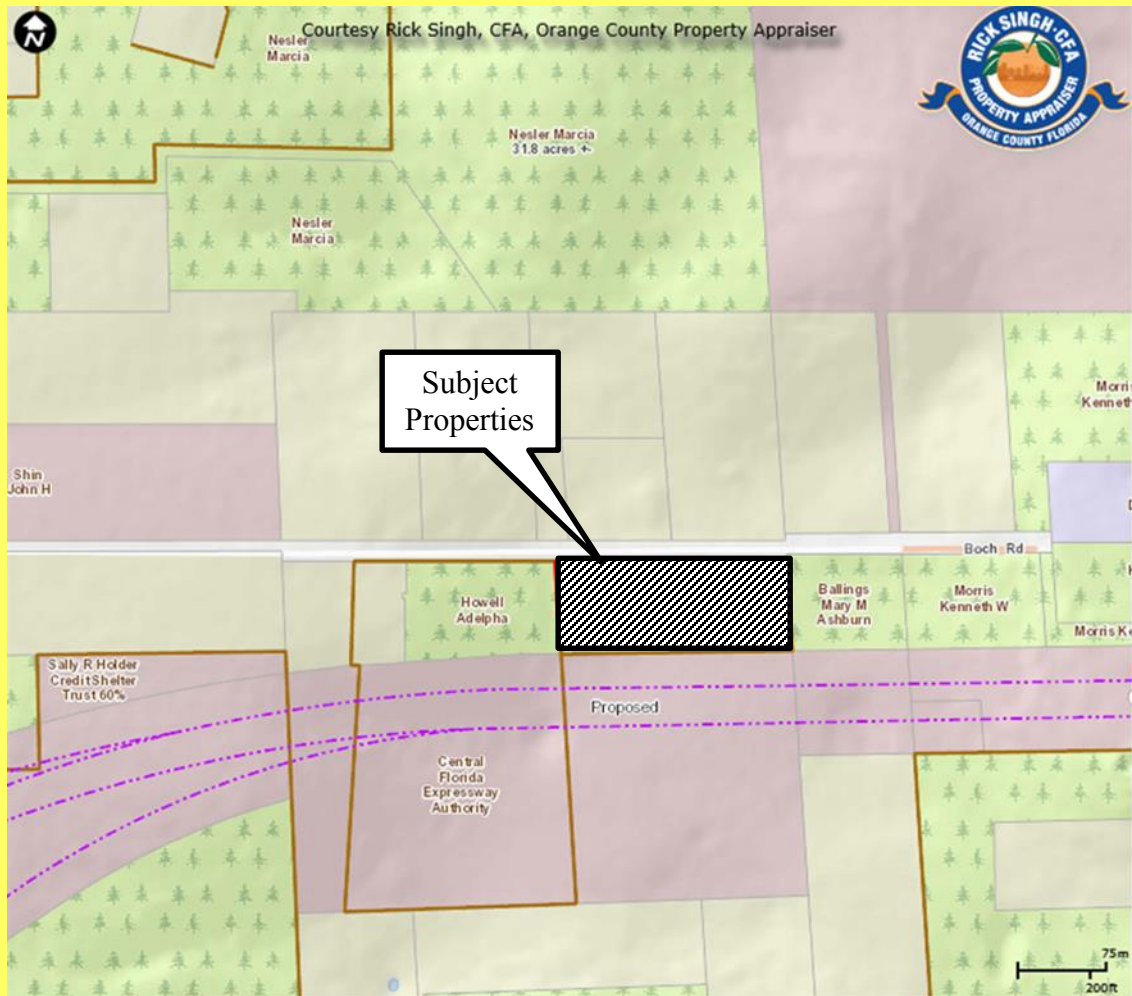
From: "County" A-2

To: "City" AG

Parcel ID #: 06-20-28-0000-00-047 & 06-20-28-0000-00-066

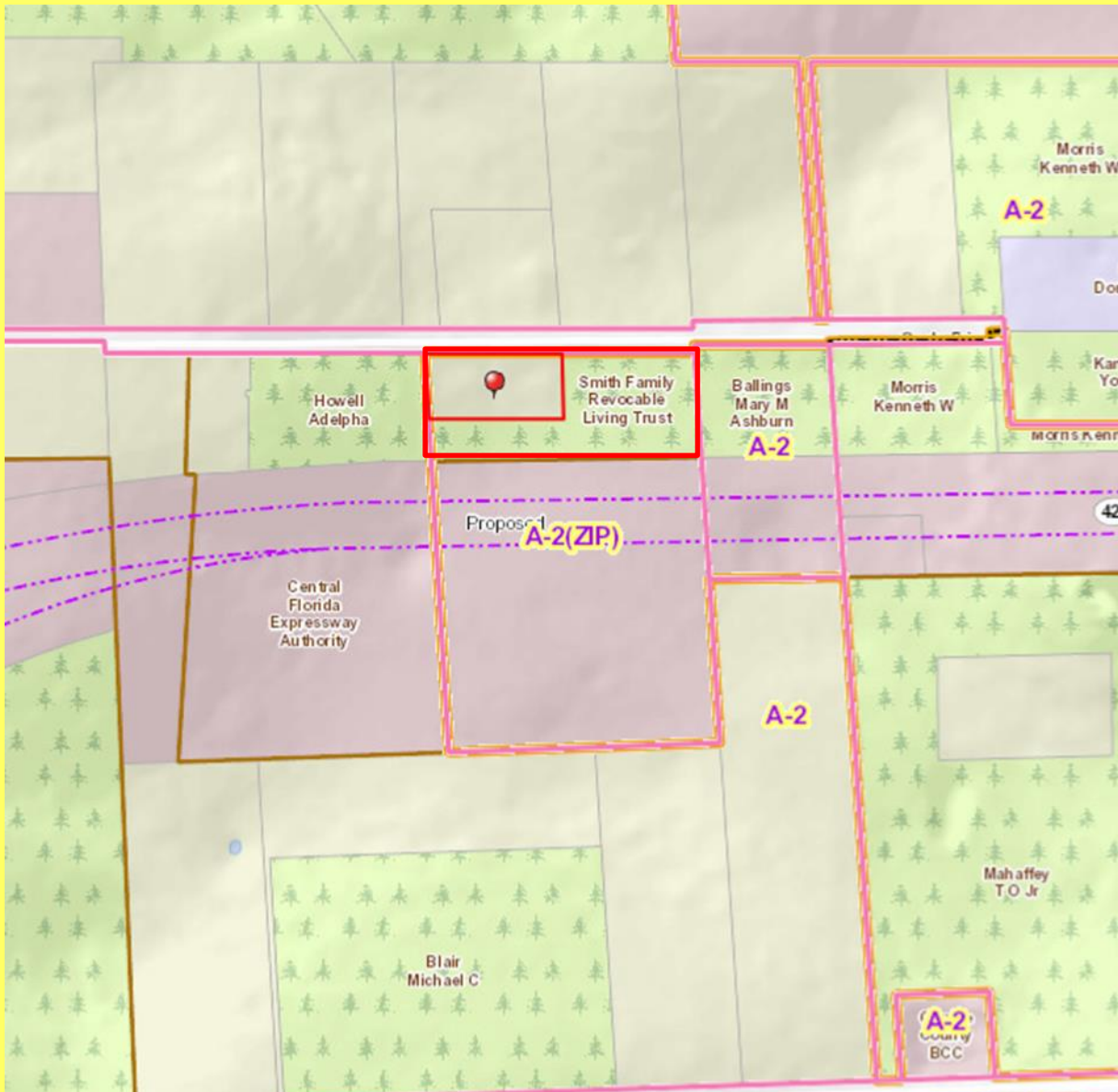


VICINITY MAP





ADJACENT ZONING



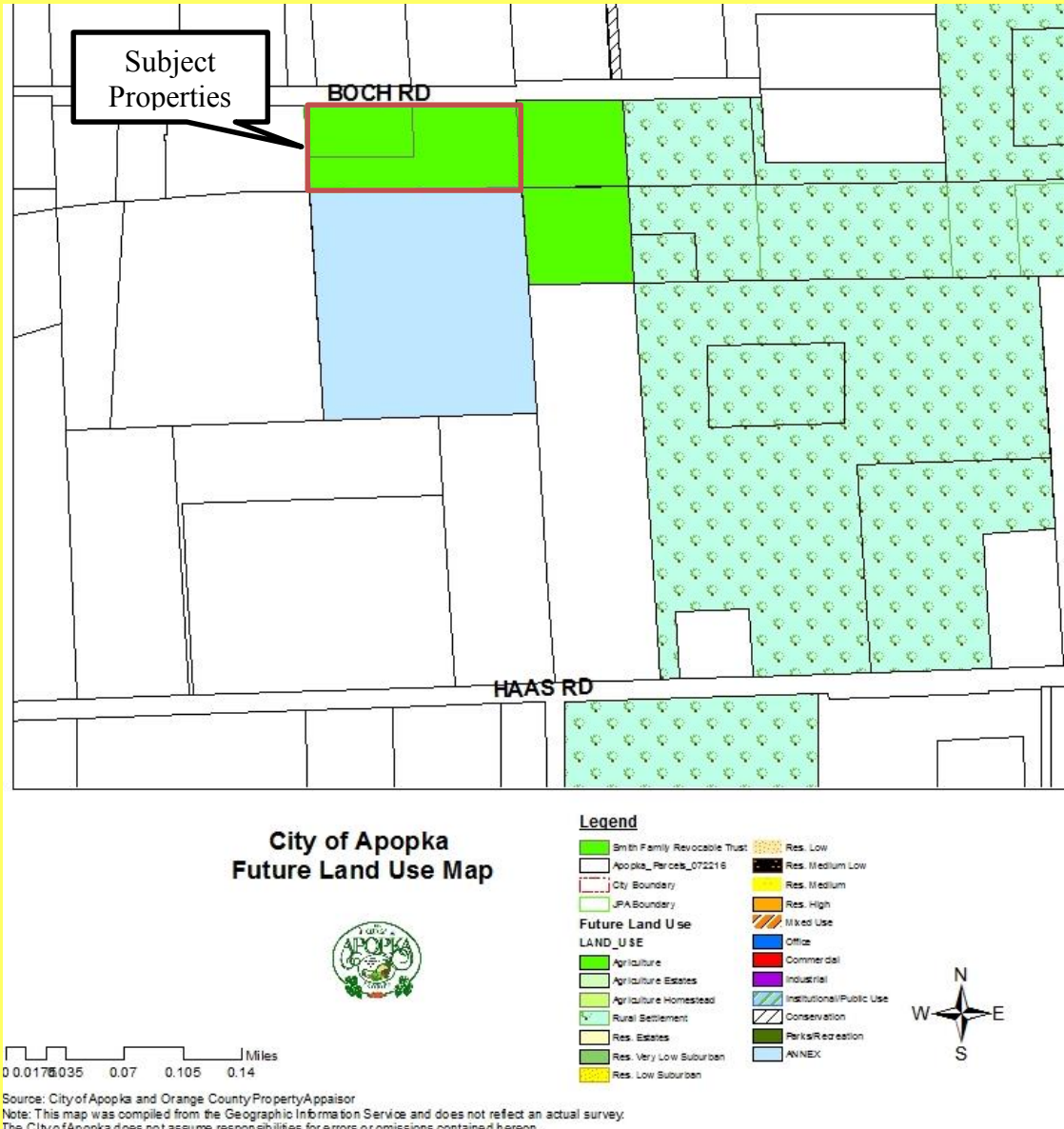


ADJACENT USES





ADJACENT & PROPOSED FUTURE LAND USE DESIGNATION



Backup material for agenda item:

6. 2017-1 ADMINISTRATIVE REZONING – Case No. 2017-1-3 & 4 - Owned by Smith Family Revocable Living Trust, from “County” A-2 (ZIP) (0-1 du/10 ac) (Agriculture) to “City” AG (0-1 du/5 ac) (Agriculture), for properties located east of Mt. Plymouth Road, south of Boch Road. (Parcel ID #s: 06-20-28-0000-00-047; 06-20-28-0000-00-066)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ ANNEXATION
☐ PLAT APPROVAL
☐ OTHER:

DATE: February 14, 2017
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Existing Uses

SUBJECT: SMITH FAMILY REVOCABLE LIVING TRUST (CASE # 2017-1-3 & -4)

PARCEL ID NUMBER: 06-20-28-0000-00-047 & 06-20-28-0000-00-066

Request: ADMINISTRATIVE REZONINGS
FROM: "COUNTY" A-2 (ZIP) (0-1 DU/10 ACRES) (AGRICULTURE)
TO: "CITY" AG (0-1 DU/5 ACRES) (AGRICULTURE)

SUMMARY

OWNER: Smith Family Revocable Living Trust
APPLICANT: City of Apopka
LOCATION: East of Mt. Plymouth Road, south of Boch Road
EXISTING USE: Manufactured Homes/Grazing
FUTURE LAND USE: Agriculture (0 - 1 du/5 acres)
ZONING: A-2 (ZIP)
PROPOSED DEVELOPMENT: Manufactured Homes (existing)
PROPOSED ZONING: AG
TRACT SIZE: 4.01 +/- Acres
MAXIMUM ALLOWABLE DEVELOPMENT:
EXISTING ZONING: 1 Residential Unit
PROPOSED ZONING: 1 Residential Unit

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning classification be assigned to annexed properties. The subject properties were annexed into the City of Apopka on December 29, 2010, through the adoption of Ordinance No. 2202. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “county” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as agricultural in nature, with “County” A-2 zoning to the north and west of the subject property, and single-family residential to the east and proposed 429 south of the site. The existing and proposed use of the subject site for manufactured homes is a permitted use in the proposed AG zoning district and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

SCHOOL CAPACITY REPORT: The request of the proposed rezoning would result in a number of residential units considered ‘de minimum’ and, therefore, a school capacity determination is not required for the subject properties.

JOINT PLANNING AREA/OVERLAY: The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

PROPERTY OWNER NOTIFICATION: The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

PUBLIC HEARING SCHEDULE:

February 14, 2017 – Planning Commission (5:30 pm)
March 1, 2017 – City Council (1:30 pm) – 1st Reading
March 15, 2017 – City Council (7:00 pm) – 2nd Reading

DULY ADVERTISED:

January 27, 2017 – Public Notice and Notification
March 3, 2017 – Ordinance Heading Ad

RECOMMENDED ACTION:

The Development Review Committee finds the change of zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the change in Zoning from “County” A-2 (ZIP) to “City” AG.

Recommended Motion: Find the change of zoning to be consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change in Zoning from “County” A-2 (ZIP) to “City” AG for the Smith Family Revocable Living Trust properties.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (0 – 1 du/10 acres)	A-2	Single-family home
East (City)	Agriculture (0 – 1 du/5 acre)	A-2 (ZIP)	Single-family home
South (City)	Rural Settlement (0 – 1 du/5 acres) (county)	A-2 (ZIP)	Proposed 429
West (County)	Rural Settlement (0 – 1 du/5 acres)	A-2	Agriculture

LAND USE &

TRAFFIC COMPATIBILITY: The subject property fronts and is accessed by a local roadway (Boch Rd). The land use is compatible with the surrounding properties because it is agricultural in nature. The zoning change will not affect traffic in the area.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed AG zoning is consistent with the City’s Agriculture Future Land Use designation, which will be assigned along with this rezoning and with the character of the surrounding area and future proposed development. The AG zoning classification is one of the acceptable zoning categories allowed within the Agriculture Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

AG DISTRICT REQUIREMENTS:

Minimum Living Area:	1,200 sq. ft. (Single-family) 400 sq. ft. (mobile home)
Minimum Site Area:	5 acres
Minimum Lot Width	NA
Setbacks:	Front: 25 ft. (100 ft. non-residential uses)
	Rear: 25 ft. (100 ft. non-residential uses)
	Side: 25 ft. (100 ft. non-residential uses)
	Corner 25 ft. (100 ft. non-residential uses)

Based on the above zoning standards, the subject site is legal, nonconforming with code requirements for the AG district, because each property is under 5 acres.

BUFFERYARD REQUIREMENTS:

Uses including, but not limited to, kennels, livestock barn stables, and other similar uses shall be a minimum of 100 feet from all property lines. Apiaries shall be located 200 feet from any property line. All other yard setbacks shall be a minimum of 25 feet from the property lines.

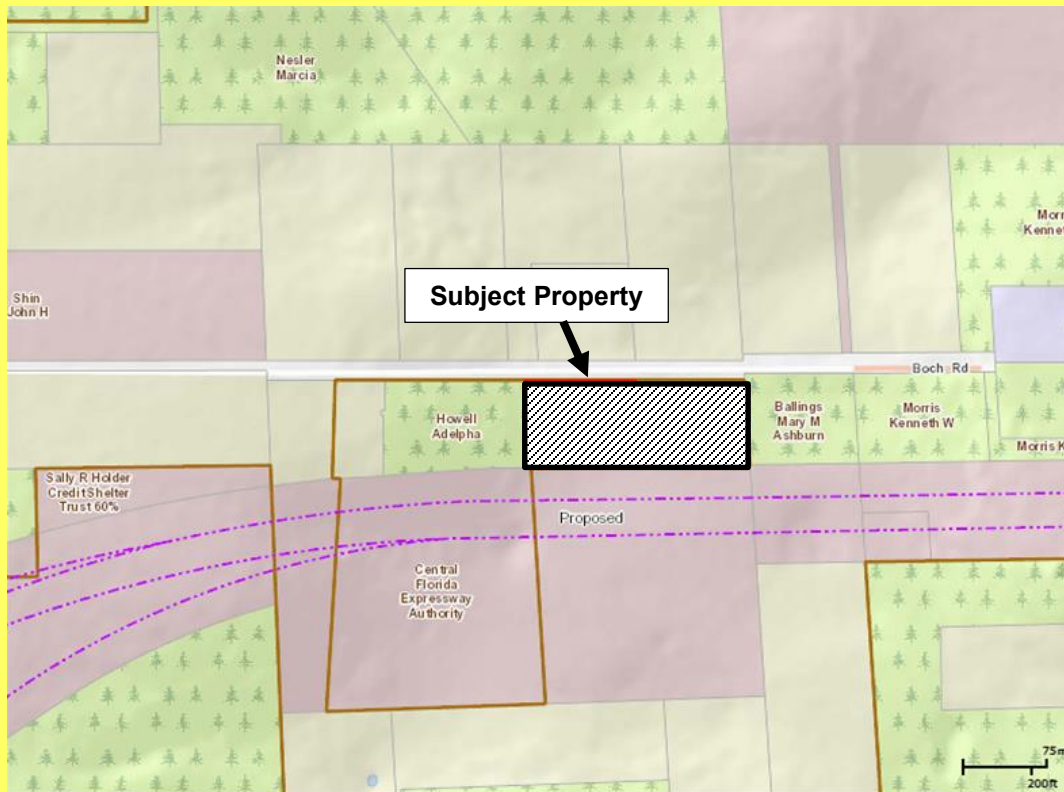
ALLOWABLE USES:

Single-family dwellings, including mobile homes, and their customary accessory structures, apiaries, kennels, crops and animal production and structures necessary for support and such production. Livestock barns and stables, commercial wholesale large plant production, and similar compatible uses.



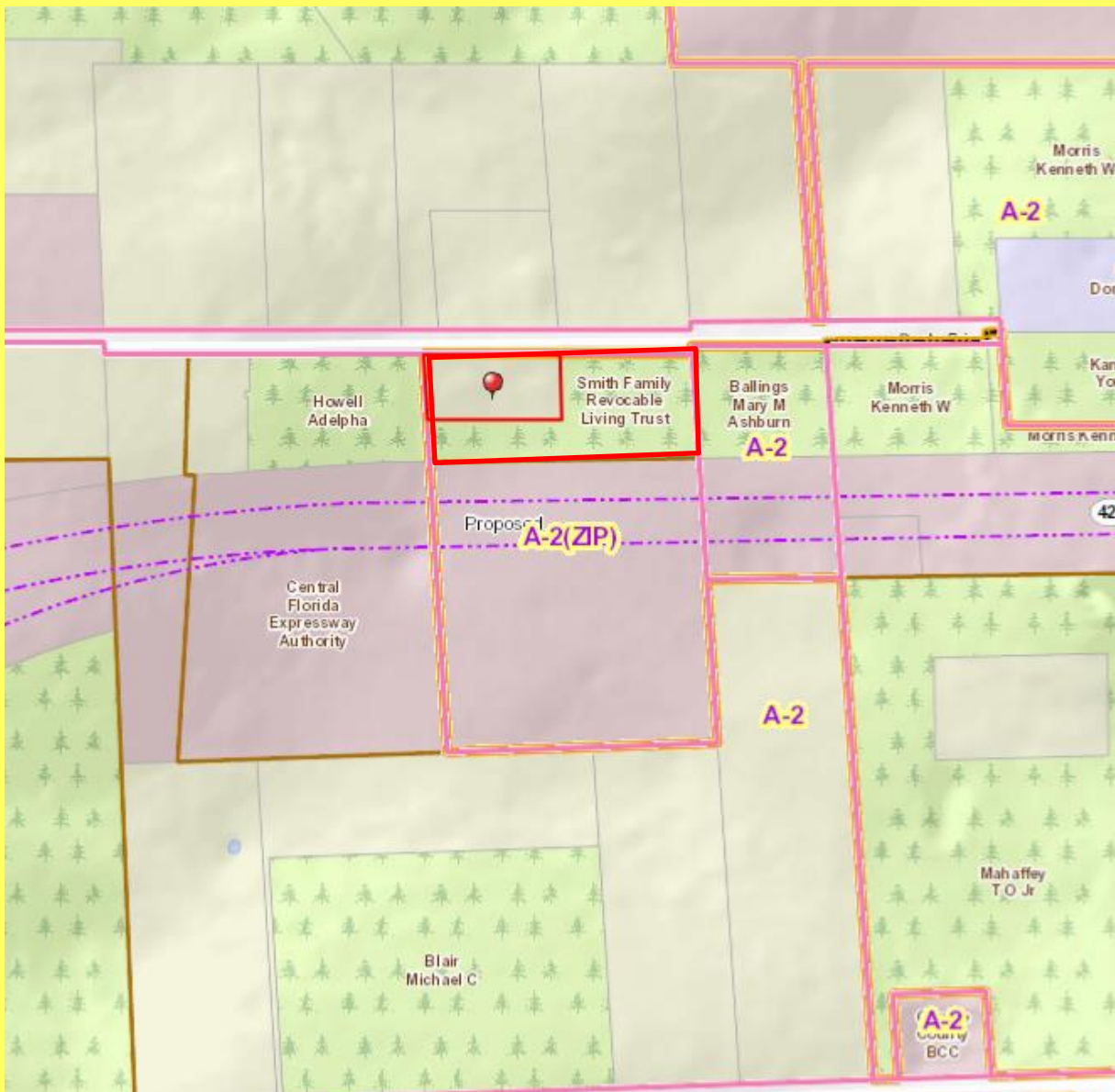
Smith Family Revocable Living Trust
4.01 +/- Acres
Proposed Zoning Change:
From: “County” A-1 (ZIP) (Agriculture) (21,780 sq. ft. min. lot)
To: “City” AG (Agriculture) (5 acre min. lot)
Parcel ID #: 06-20-28-0000-00-047 & 06-20-28-0000-00-066

VICINITY MAP





ADJACENT ZONING



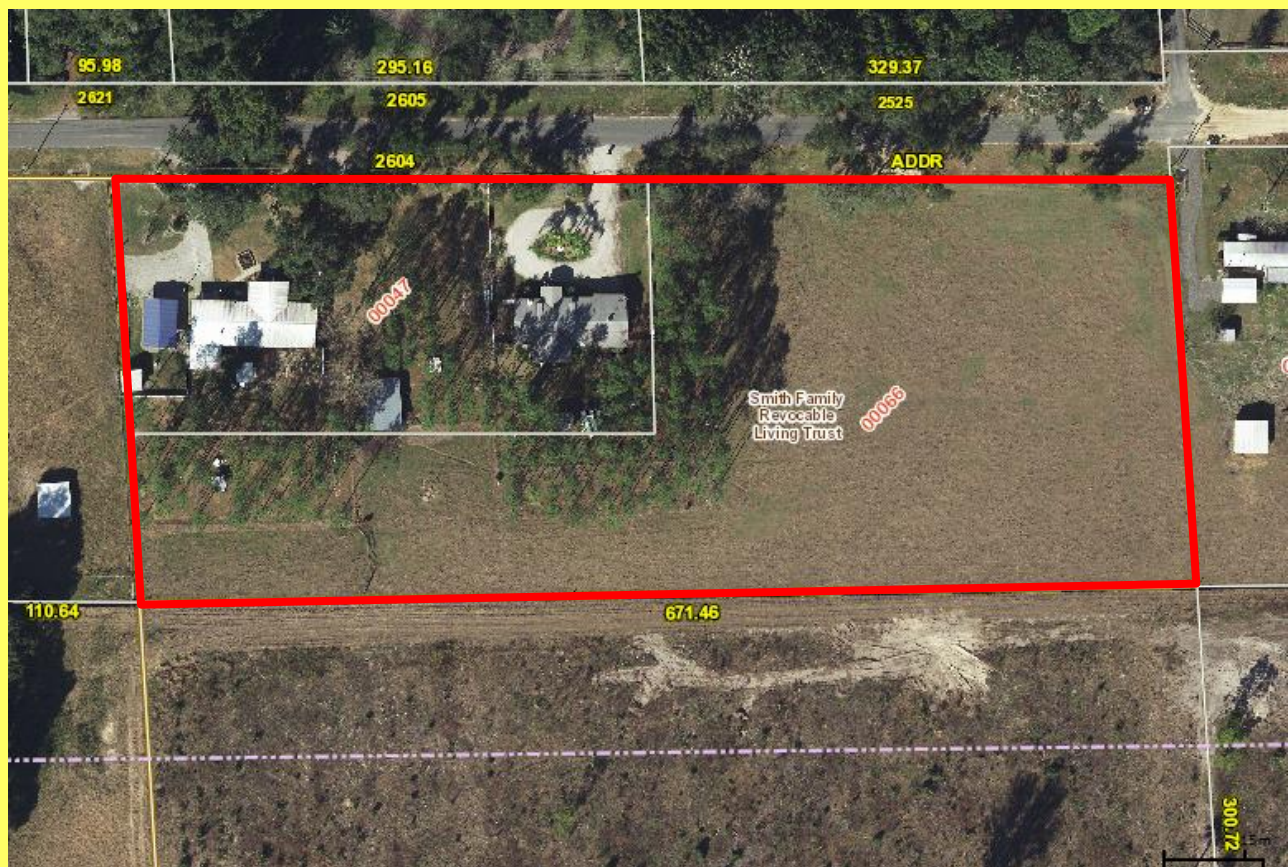


ADJACENT USES





EXISTING USES



Backup material for agenda item:

7. 2017-1 ADMINISTRATIVE REZONING – Case No. 2017-1-1 - Owned by Mary M. Ashburn Ballings, from “County” A-2 (ZIP) (0-1 du/10 ac) (Agriculture) to “City” AG (0-1 du/5 ac) (Agriculture), for property located east of Mt. Plymouth Road, south of Boch Road. (Parcel ID #s: 06-20-28-0000-00-029)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ ANNEXATION
☐ PLAT APPROVAL
☐ OTHER:

DATE: February 14, 2017
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Existing Uses

SUBJECT: MARY M. ASHBURN BALLINGS (CASE # 2017-1-1)

PARCEL ID NUMBER: 06-20-28-0000-00-029

Request: ADMINISTRATIVE REZONING
FROM: "COUNTY" A-2 (ZIP) (0-1 DU/10 ACRES) (AGRICULTURE)
TO: "CITY" AG (0-1 DU/5 ACRES) (AGRICULTURE)

SUMMARY

OWNER: Mary M. Ashburn Ballings
APPLICANT: City of Apopka
LOCATION: East of Mt. Plymouth Road, south of Boch Road
EXISTING USE: Manufactured home
FUTURE LAND USE: Agriculture (0 - 1 du/5 acres)
ZONING: A-2 (ZIP)
PROPOSED DEVELOPMENT: Manufactured home (existing)
PROPOSED ZONING: AG
TRACT SIZE: 2.10 +/- Acres
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: 1 Residential Unit
PROPOSED ZONING: 1 Residential Unit

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	Recreation Director

ADDITIONAL COMMENTS: Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning classification be assigned to annexed properties. The subject property was annexed into the City of Apopka on December 29, 2010 through the adoption of Ordinance No. 2201. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “county” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as single-family and agricultural in nature, with “County” A-2 zoning to the north, south, east and west of the subject property. The existing and proposed use of the subject site for a manufactured home is a permitted use in the proposed AG zoning district and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

SCHOOL CAPACITY REPORT: The request of the proposed rezoning would result in a number of residential units considered ‘de minimum’ and, therefore, a school capacity determination is not required for the subject properties.

JOINT PLANNING AREA/OVERLAY: The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

PROPERTY OWNER NOTIFICATION: The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

PUBLIC HEARING SCHEDULE:

February 14, 2017 – Planning Commission (5:30 pm)
March 1, 2017 – City Council (1:30 pm) – 1st Reading
March 15, 2017 – City Council (7:00 pm) – 2nd Reading

DULY ADVERTISED:

January 27, 2017 – Public Notice and Notification
March 3, 2017 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the change in zoning to be consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the change in Zoning from “County” A-2 (ZIP) to “City” AG.

Note: This item is considered quasi-judicial. The report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (0 – 1 du/10 acres)	A-2	Single-family home
East (City)	Low Density Residential (0 – 4 du/ acre)	A-1 (ZIP)	Single-family home
South (County)	Rural Settlement (0 – 1 du/5 acres)	A-2	Single-family home
West (City)	Rural Settlement (0 – 1 du/5 acres)	A-2 (ZIP)	Grazing

LAND USE &

TRAFFIC COMPATIBILITY: The subject property fronts and is accessed by a local roadway (Boch Rd). Its land use is similar to the surrounding agricultural area, and will not affect traffic because there is an existing home on the property.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed AG zoning is consistent with the City’s Rural Settlement Future Land Use designation and with the character of the surrounding area and future proposed development. The AG zoning classification is one of the acceptable zoning categories allowed within the Rural Settlement Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

AG DISTRICT REQUIREMENTS:

Minimum Living Area:	1,200 sq. ft. (Single-family) 400 sq. ft. (mobile home)
Minimum Site Area:	5 acres
Minimum Lot Width	NA
Setbacks:	Front: 25 ft. (100 ft. non-residential uses)
	Rear: 25 ft. (100 ft. non-residential uses)
	Side: 25 ft. (100 ft. non-residential uses)
	Corner 25 ft. (100 ft. non-residential uses)

Based on the above zoning standards, the subject site does not comply with code requirements for the AG district, therefore it will be a legal, nonconforming property.

BUFFERYARD REQUIREMENTS:

Uses including, but not limited to, kennels, livestock barn stables, and other similar uses shall be a minimum of 100 feet from all property lines. Apiaries shall be located 200 feet from any property line. All other yard setbacks shall be a minimum of 25 feet from the property lines.

ALLOWABLE USES:

Single-family dwellings, including mobile homes, and their customary Accessory structures, apiaries, kennels, crops and animal production and structures necessary for support and such production. Livestock barns and stables, commercial wholesale foliage plant production, and similar compatible uses.



Mary M. Ashburn Ballings
2.10 +/- Acres

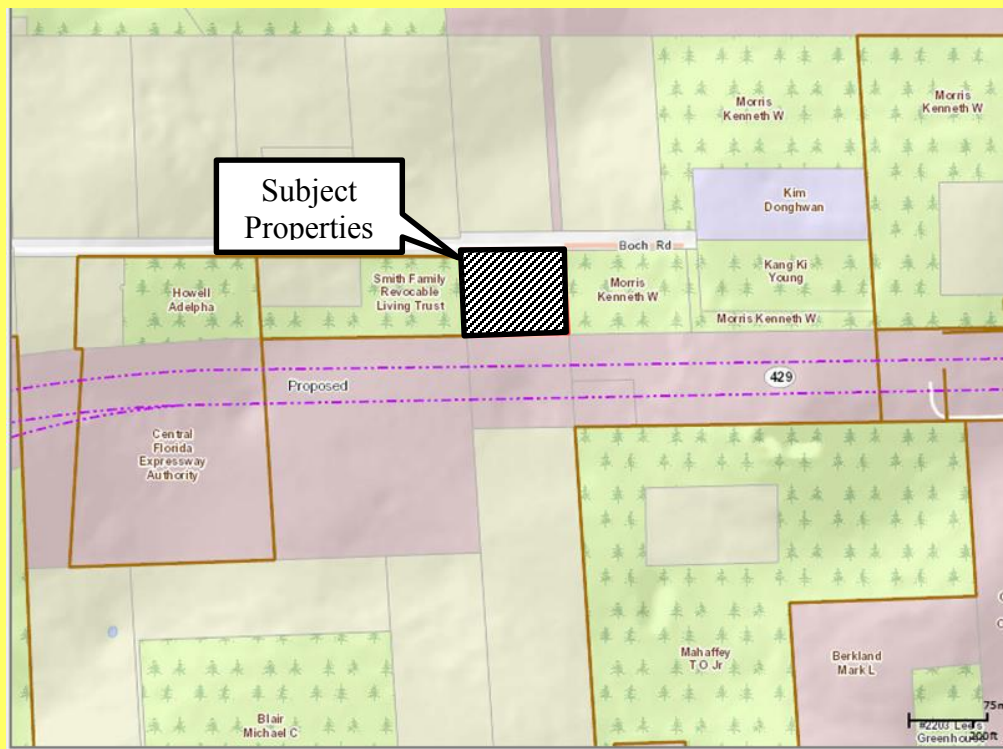
Proposed Zoning Change:

From: "County" A-2 (ZIP) (Agriculture) (21,780 sq. ft. min. lot)

To: "City" AG (Agriculture) (5 acre min. lot)

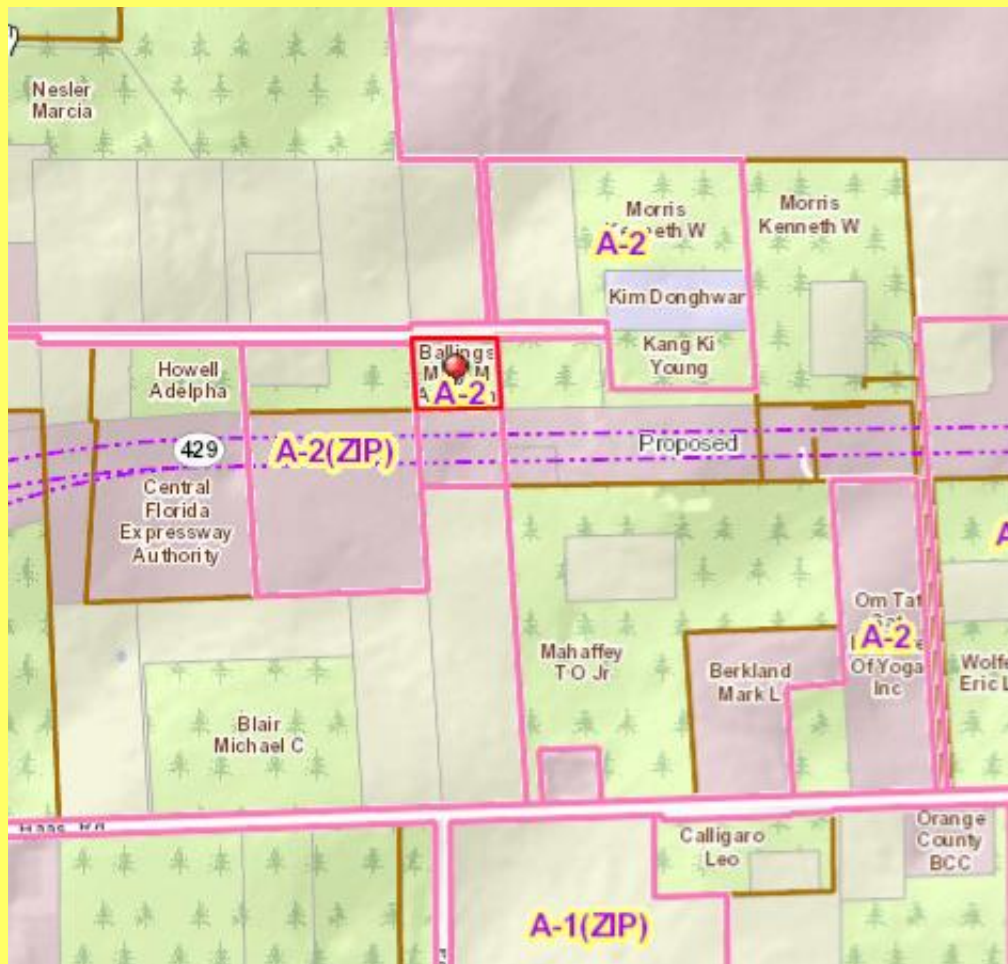
Parcel ID #: 09-20-28-7608-00-050

VICINITY MAP



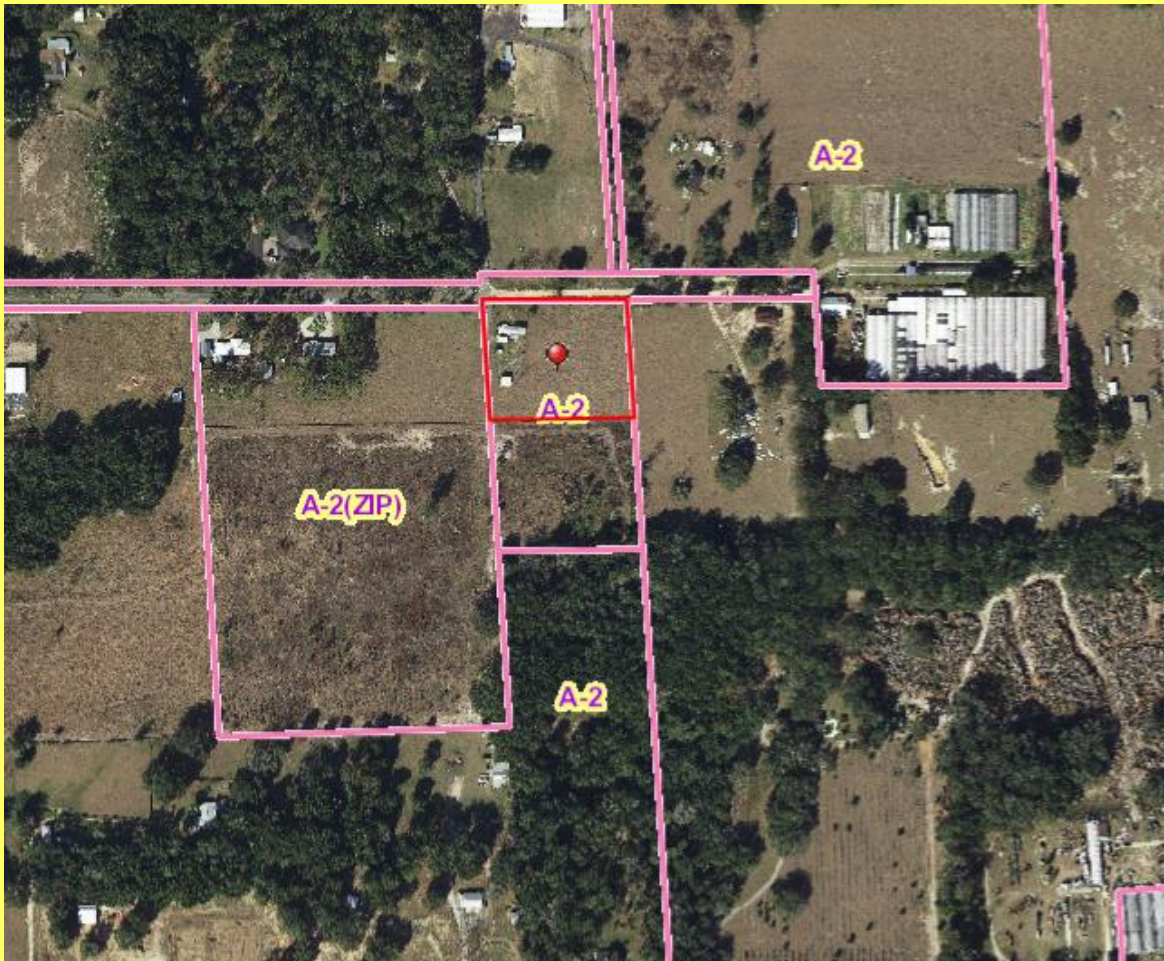


ADJACENT ZONING



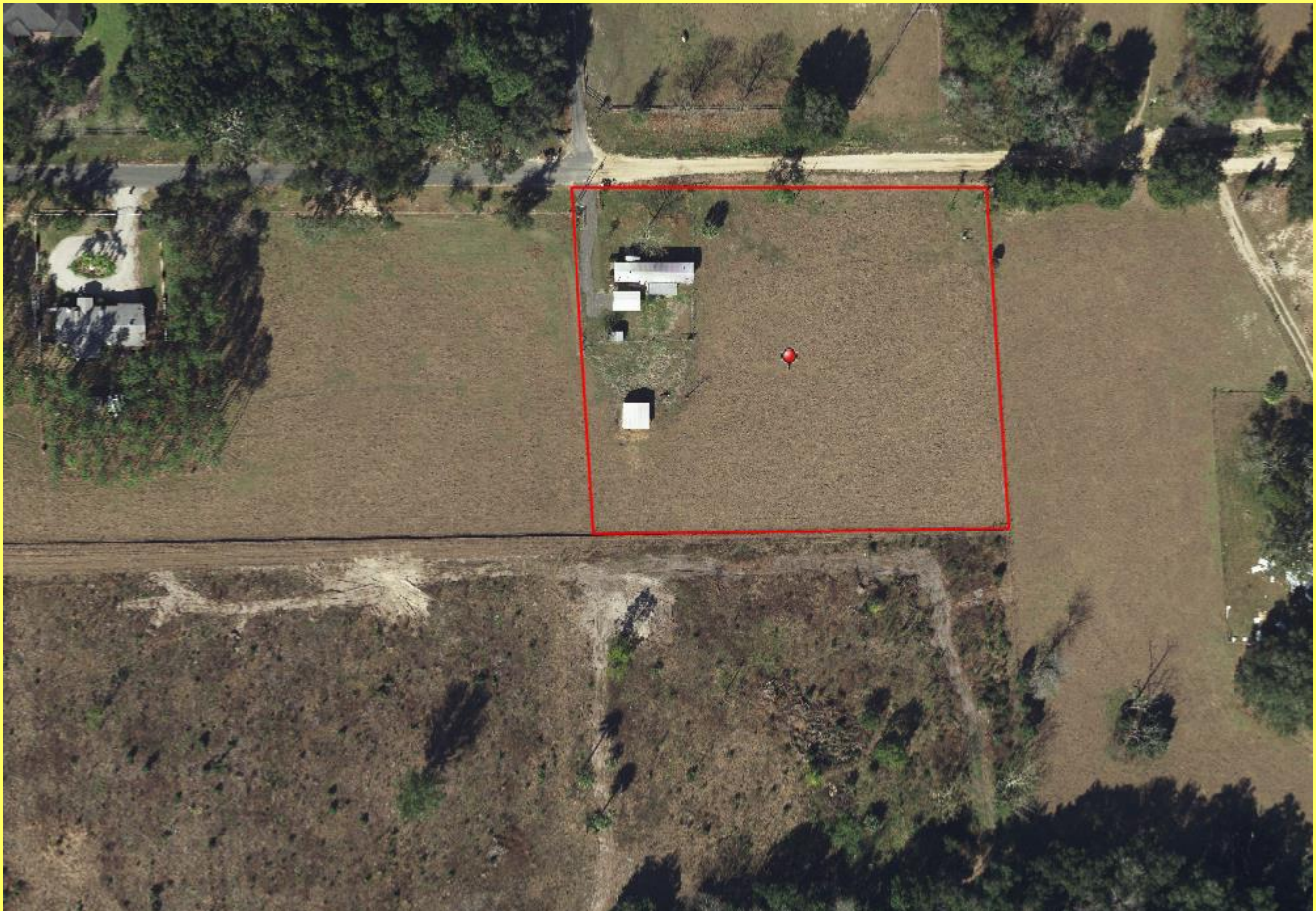


ADJACENT USES





**EXISTING
USES**



Backup material for agenda item:

8. 2017-1 ADMINISTRATIVE REZONING – Case No. 2017-1-2 - Owned by TIIFT, from “County” A-1 (ZIP) (0-1 du/10 ac) (Agriculture) to “City” AG (0-1 du/5 ac) (Agriculture), for property located west of Mt. Plymouth Road, north of Swain Road. (Parcel ID #s: 05-20-28-0476-00-040)



DATE:	February 14, 2017
FROM:	Community Development
EXHIBITS:	Zoning Report Vicinity Map Adjacent Zoning Map Adjacent Uses Map Existing Uses

Request: ADMINISTRATIVE REZONING
FROM: “COUNTY” A-1 (ZIP) (0-1 DU/10 ACRES) (AGRICULTURE)
TO: “CITY” AG (0-1 DU/5 ACRES) (AGRICULTURE)

MAXIMUM ALLOWABLE DEVELOPMENT:	EXISTING ZONING:	1 Nonresidential Unit
	PROPOSED ZONING:	1 Nonresidential Unit

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	Recreation Director

ADDITIONAL COMMENTS: Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning classification be assigned to annexed properties. The subject property was annexed into the City of Apopka on September 5, 2007, through the adoption of Ordinance No. 1962. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “county” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as single-family and agricultural in nature, with “County” A-1 zoning to the east, north, south, and west of the subject property, and mobile home park to the east of the site. The existing and proposed use of the subject site for a nonresidential building is a permitted use in the proposed AG zoning district and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

SCHOOL CAPACITY REPORT: The request of the proposed rezoning would result in a number of residential units considered ‘de minimum’ and, therefore, a school capacity determination is not required for the subject properties.

JOINT PLANNING AREA/OVERLAY: The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

PROPERTY OWNER NOTIFICATION: The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

PUBLIC HEARING SCHEDULE:

February 14, 2017 – Planning Commission (5:30 pm)
March 1, 2017 – City Council (1:30 pm) – 1st Reading
March 15, 2017 – City Council (7:00 pm) – 2nd Reading

DULY ADVERTISED:

January 27, 2017 – Public Notice and Notification
March 3, 2017 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the change in Zoning from “County” A-1 (ZIP) to “City” AG.

Recommended Motion: Finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change in Zoning from “County” A-1 (ZIP) to “City” AG for the TIIFT – Florida DEP property.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Rural Settlement (0-1 du/5 acres)	A-1(ZIP)	Non-agriculture acreage
East (City)	AG (0 – 1 du/ 5 acre)	A-1 (ZIP)	State Lands
South (County)	Rural (0 – 1 du/10 acres)	A-1	Two Single-family home
West (City)	Rural Settlement (0 – 1 du/5 acres)	A-1 (ZIP)	Non-agriculture acreage

LAND USE &

TRAFFIC COMPATIBILITY: The subject property fronts and is accessed by a local roadway (Swain Rd). It is similar in nature to the surrounding agricultural and natural land areas, and there should be no impact on traffic.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed AG zoning is consistent with the City’s Rural Settlement Future Land Use designation and with the character of the surrounding area and future proposed development. The AG zoning classification is one of the acceptable zoning categories allowed within the Rural Settlement Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

AG DISTRICT REQUIREMENTS:

Minimum Living Area:	1,200 sq. ft. (Single-family) 400 sq. ft. (mobile home)
Minimum Site Area:	5 acres
Minimum Lot Width	NA
Setbacks:	Front: 25 ft. (100 ft. non-residential uses)
	Rear: 25 ft. (100 ft. non-residential uses)
	Side: 25 ft. (100 ft. non-residential uses)
	Corner 25 ft. (100 ft. non-residential uses)

Based on the above zoning standards, the subject site complies with code requirements for the AG district.

BUFFERYARD REQUIREMENTS:

Uses including, but not limited to, kennels, livestock barn stables, and other similar uses shall be a minimum of 100 feet from all property lines. Apiaries shall be located 200 feet from any property line. All other yard setbacks shall be a minimum of 25 feet from the property lines.

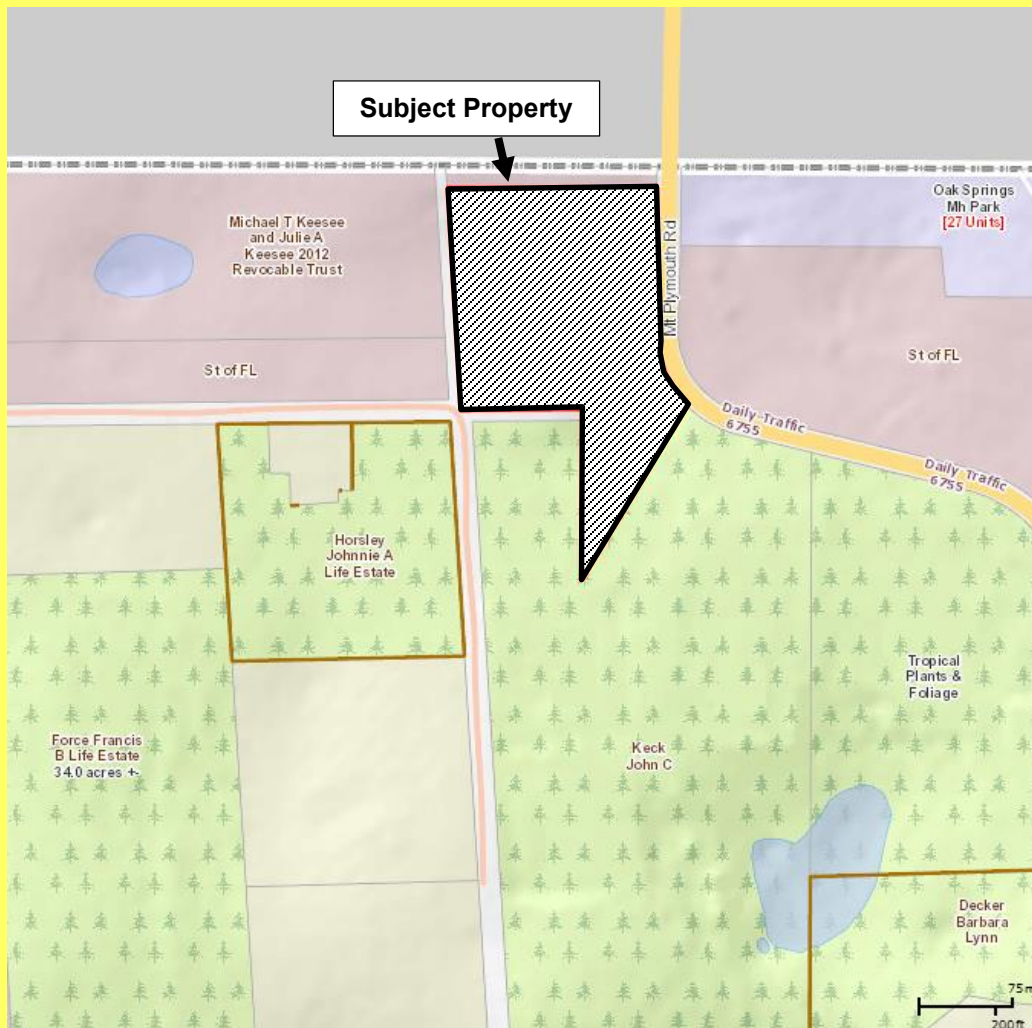
ALLOWABLE USES:

Single-family dwellings, including mobile homes, and their customary accessory structures, apiaries, kennels, crops and animal production and structures necessary for support and such production. Livestock barns and stables, commercial wholesale foliage plant production, and similar compatible uses.



TIIFT
9.27 +/- Acres
Proposed Zoning Change:
From: “County” A-1 (ZIP) (Agriculture) (21,780 sq. ft. min. lot)
To: “City” AG (Agriculture) (5 acre min. lot)
Parcel ID #: 05-20-28-0476-00-040

VICINITY MAP



Michael T. Keesee
and Julie A.
Keesee 2012
revocable Trust
A-1(ZIP)
Apopka

St of FL

A-1(ZIP)
Apopka

St of FL

6255

St of FL

A-1(ZIP)
Apopka

St of FL

Unincorporated

A-1

Force Francis B
32.9
acres +/-
A-1

Horsley
Johnnie A
Life Estate
A-1

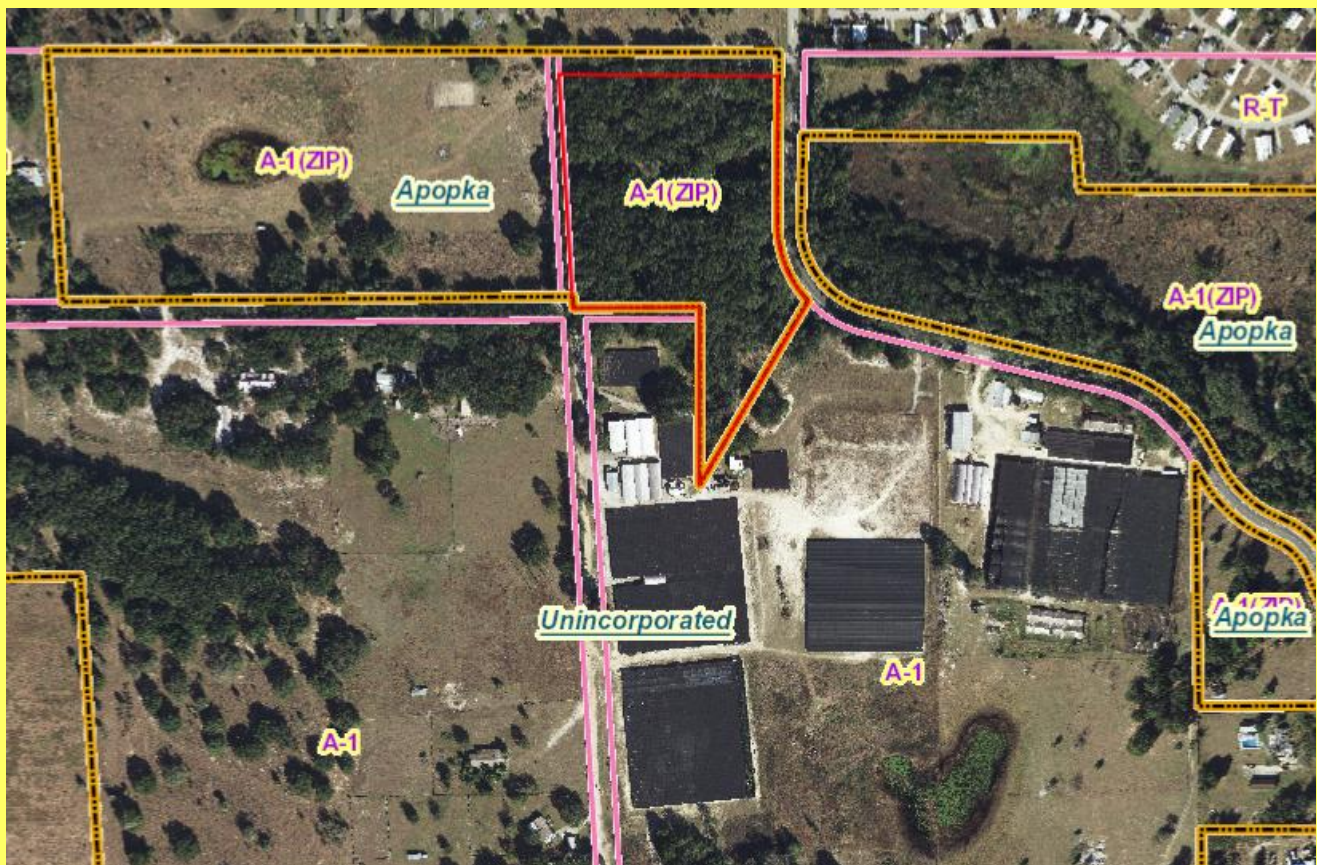
Keck
John C
A-1

Oak Springs
Mh Park
(27 Units)
R-T
Hillborough St

Tropical Plants & Foliage
A-1(ZIP)
Apopka



ADJACENT USES





**EXISTING
USES**



Backup material for agenda item:

1. FINAL DEVELOPMENT PLAN - COOPER PALMS COMMERCE CENTER (LOT 5) – Owned by Property Industrial Enterprises, LLC and located south of Cooper Palms Parkway, east of South Bradshaw Road. (Parcel ID #s: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240; 09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	MEETING OF:	February 14, 2017
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity/Aerial Maps
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Final Dev. Plan

PROJECT: COOPER PALMS COMMERCE CENTER (LOT 5) FINAL DEVELOPMENT PLAN

REQUEST: RECOMMEND APPROVAL OF THE COOPER PALMS COMMERCE CENTER (LOT 5) FINAL DEVELOPMENT PLAN

SUMMARY:

OWNER: Property Industrial Enterprises, LLC

APPLICANT: Michael R. Cooper; Property Industrial Enterprises, LLC

ENGINEER: Hossein Tehraini, P.E.

LOCATION: South of Cooper Palms Parkway, east of South Bradshaw Road

PARCEL ID #: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240;
09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120

FLUM: Industrial

ZONING: I-1

EXISTING USE: Vacant Land

PROPOSED USE: Industrial Warehouses\Commercial Services

TRACT SIZE: .82 +/- acres

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North	Industrial	I-1	Cooper Palms Sports Complex
East	Industrial	I-1	Vacant land
South	Industrial	I-1	Retention Pond
West	Industrial	I-1	Cooper Palms Commerce Park

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief
Recreation Director

ADDITIONAL COMMENTS: The Cooper Palms Commerce Center (Lot 5) site plan proposes an industrial warehousing building with sq. ft. A total of 25 parking spaces are provided. Per City Code, each a minimum of 17 parking spaces must be provided.

PUBLIC HEARING SCHEDULE:

February 14, 2017 - Planning Commission (5:30 pm)

March 1, 2017 - City Council (1:30 pm)

RECOMMENDED ACTION:

The **Development Review Committee** finds the Final Development Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Cooper Palms Commerce Center (Lot5) Final Development Plant, subject to the findings of this staff report.

Recommended Motion: Find the Final Development Plan consistent with the Comprehensive Plan and Land Development Code and recommend approval of the Cooper Palms Commerce Center (Lot 5) Final Development Plant, subject to the development condition and findings of this staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Cooper Palms Commerce Center (Lot 5) – Final Development Plan
Owner: Property Industrial Enterprises, LLC
Parcel I.D. No's: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240;
09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120
Location: South of West 2nd Street and west of South Hawthorne Avenue
Total Acres: 0.82 +/- Acres



VICINITY MAP



AERIAL MAP

Application: Cooper Palms Commerce Center (Lot 10 and 11) – Final Development Plan
Owner: Property Industrial Enterprises, LLC
Parcel I.D. No's: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240;
09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120
Location: South of Cooper Palms Parkway, east of Bradshaw Road
Total Acres: +/- 0.82 Acres



BOUNDARY SURVEY

Legal Description (per title commitment)

Lots 5 through 17 and 29 through 40, Block A, Bradshaw and Thompson's Addition to Apopka City, according to the plat thereof as recorded in Plat Book B, Page 25, of the Public Records of Orange County, Florida, together with the West 30 feet of vacated road abutting lots 6, 17, 29, and 40.

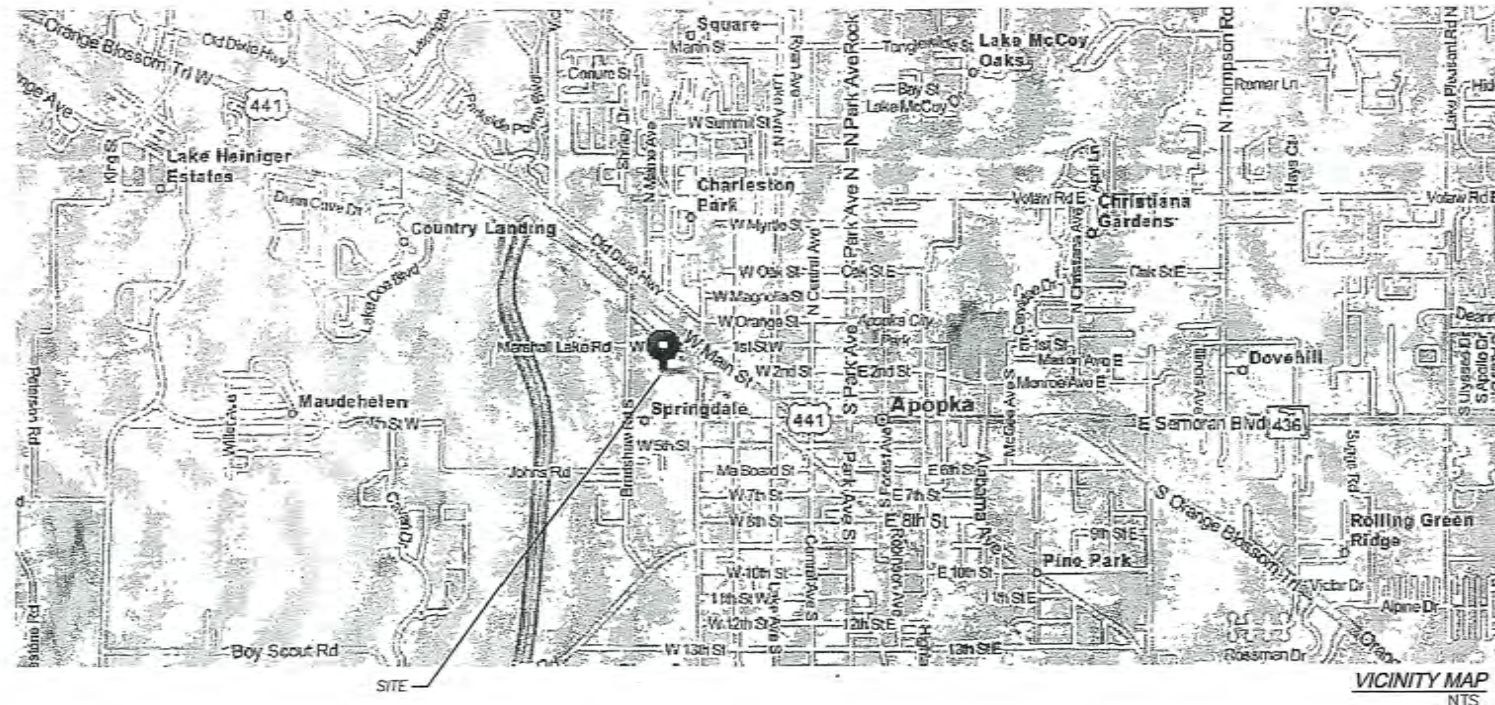
Legal Description (per title commitment)

Lots 5, 18, 19, 20, 27, 28, 41, 43, 44, 45 and 46, Block A, Bradshaw and Thompson's Addition to Apopka City, according to the plat thereof as recorded in Plat Book B, Page 25, Less railroad right-of-way

Together with the East (1/2) of New Hampshire Avenue, also known as Evergreen Avenue West of said Lots 5, 18, 25, and 41, Block A vacated by Resolution recorded January 22, 1968, in Book 1699 Page 548, Public Records of Orange County, Florida.

And together with that part of Second Street of said Lot 18 and 19 and North of said Lots 27 and 28, Block A vacated by Resolution recorded October 2, 1965 in Book 171 Page 372, Public Records of Orange County, Florida;

And together with that part Third Street South of said Lots 41 and 42, Block A and North of Lots 51 and 52, Block A vacated by Resolution recorded May 23, 1967 in Book 16 Page 176, Public Records of Orange County, Florida.



A FINAL DEVELOPMENT PLAN FOR: COOPER CONST-OFFICE-WAREHOUSE COOPER PALMS COMMERCE FACILITY CITY OF APOPKA

JAN. 6, 2017

OWNER OF RECORD

PROPERTY IND ENTERPRISE LLC
564 COOPER COMMERCE DR.
APOPKA, FL 32703
407-889-2510

PARCEL ID#: LOT #5; 09-21-28-1675-00-050

REF FINAL DEVELOPMENT
PLANS, APPROVED 7/3/13

SITE PLAN INDEX OF DRAWINGS

DRAWING NO.	DRAWING DESCRIPTION
1	COVER SHEET
S-1	SITE PLAN
L-1	LANDSCAPE PLAN
I-1	IRRIGATION PLAN

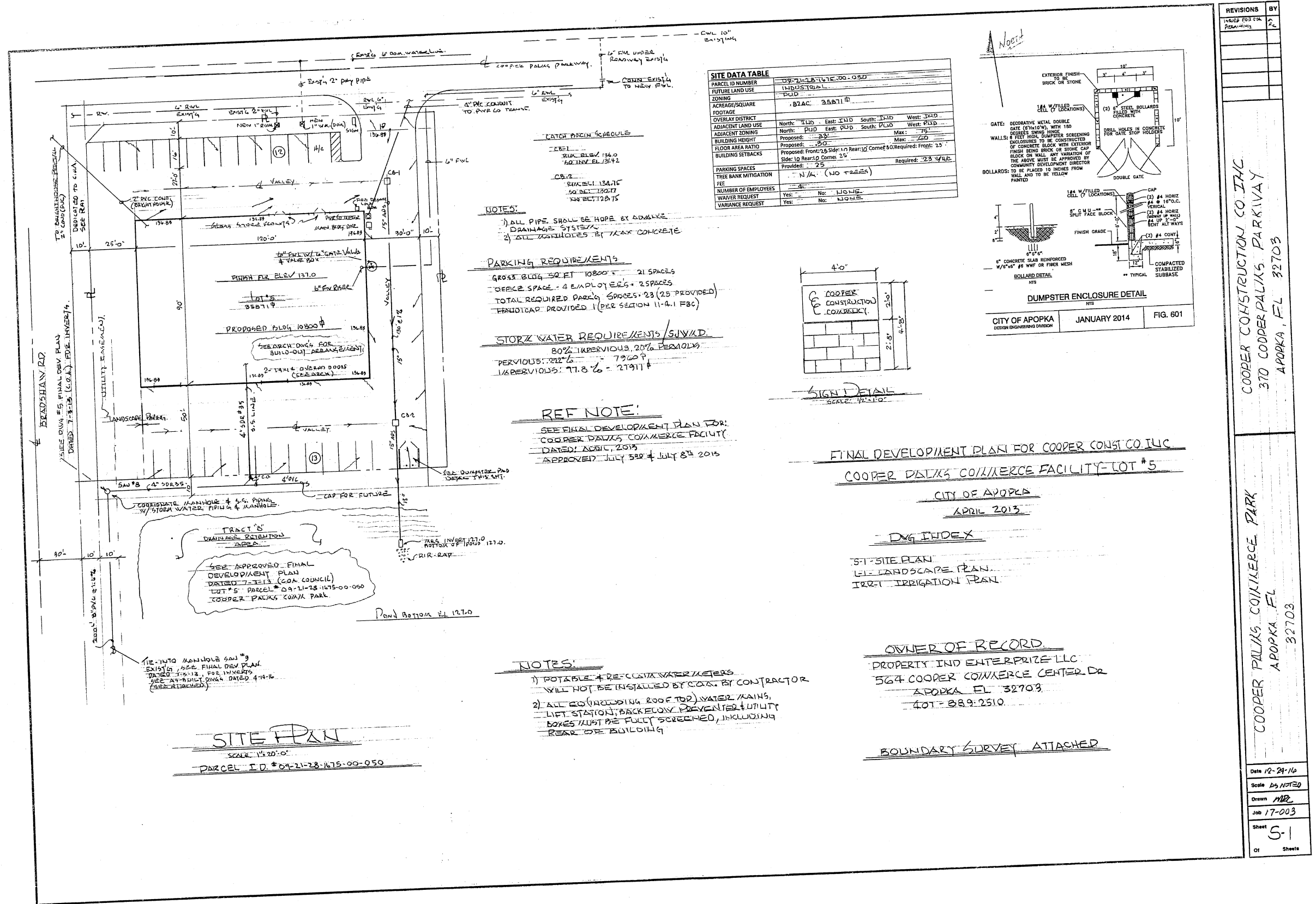
Plan Notes

No.	Revision/Issue	Date

COOPER CONST. CO.
564 COOPER COMMERCE DR.
APOPKA, FL 32703
407-889-2510

Project Name and Address
COOPER PALMS
COMMERCE PARK
APOPKA, FL

Project	Sheet
Date 1-6-17	1
Scale AS SHOWN	1 OF 13



Backup material for agenda item:

2. FINAL DEVELOPMENT PLAN - COOPER PALMS COMMERCE CENTER (LOTS 10 AND 11) – Owned by Property Industrial Enterprises, LLC and located south of West 2nd Street and west of South Hawthorne Avenue. (Parcel ID #s: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240; 09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	MEETING OF:	February 14, 2017
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity/Aerial Maps
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Final Dev. Plan

PROJECT: COOPER PALMS COMMERCE CENTER (LOTS 10 AND 11) FINAL DEVELOPMENT PLAN

REQUEST: RECOMMEND APPROVAL OF THE COOPER PALMS COMMERCE CENTER (LOTS 10 AND 11) FINAL DEVELOPMENT PLAN

SUMMARY:

OWNER: Property Industrial Enterprises, LLC

APPLICANT: Michael R. Cooper, Property Industrial Enterprises, LLC

ENGINEER: Hossein Tehraini, P.E.

LOCATION: South of West 2nd Street and west of South Hawthorne Avenue

PARCEL ID #: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240;
09-21-28-0868-01-230; 09-21-28-1675-00-110; 09-21-28-1675-00-120

FLUM: Industrial

ZONING: I-1

EXISTING USE: Vacant Land

PROPOSED USE: Industrial Warehouses\Commercial Services

TRACT SIZE: 2.81 +/- acres

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Industrial	IND-4	CSX Railroad
East (City)	Commercial	C-2	Church
South (County)	Low Medium Density	R-2	Single Family Residential
West (City)	Industrial	I-1	Industrial Warehouse

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief
Recreation Director

ADDITIONAL COMMENTS: The Cooper Palms Commerce Center (Lots 10 and 11) proposes two industrial warehousing buildings each approximately 6,800 sq. ft. gross floor area. Lot 10 is 60,694 sq. ft. and Lot 11 62,110 sq. ft. Lot 10 provides 25 parking spaces and Lot 11 20 parking spaces. Per City Code, each site will need a minimum of 15 parking spaces.

Development Condition: Prior to issuance of a certificate of occupancy for a building on Lots 10 and 11, the property owner must provide a cross access easement over the portion of the vacated 2nd Street that allows owner of Lot 8 and the other owners of Coopers Commerce Park to travel upon the road.

PUBLIC HEARING SCHEDULE:

February 14, 2017 - Planning Commission (5:30 pm)

March 1, 2017 - City Council (1:30 pm)

RECOMMENDED ACTION:

The **Development Review Committee** finds the Final Development Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Cooper Palms Commerce Center (Lots 10 & 11) Final Development Plant, subject to the findings of this staff report.

Recommended Motion: Find the Final Development Plan consistent with the Comprehensive Plan and Land Development Code and recommend approval of the Cooper Palms Commerce Center (Lots 10 & 11) Final Development Plant, subject to the findings and development conditions of this staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Cooper Palms Commerce Center (Lots 10 and 11) – Final Development Plan
Owner: Property Industrial Enterprises, LLC
Parcel I.D. No's: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240;
09-21-28-0868-01-230; 09-21-28-1675-00-110 and 09-21-28-1675-00-120
Location: South of West 2nd Street and west of South Hawthorne Avenue
Total Acres: 2.81 +/- Acres



VICINITY MAP



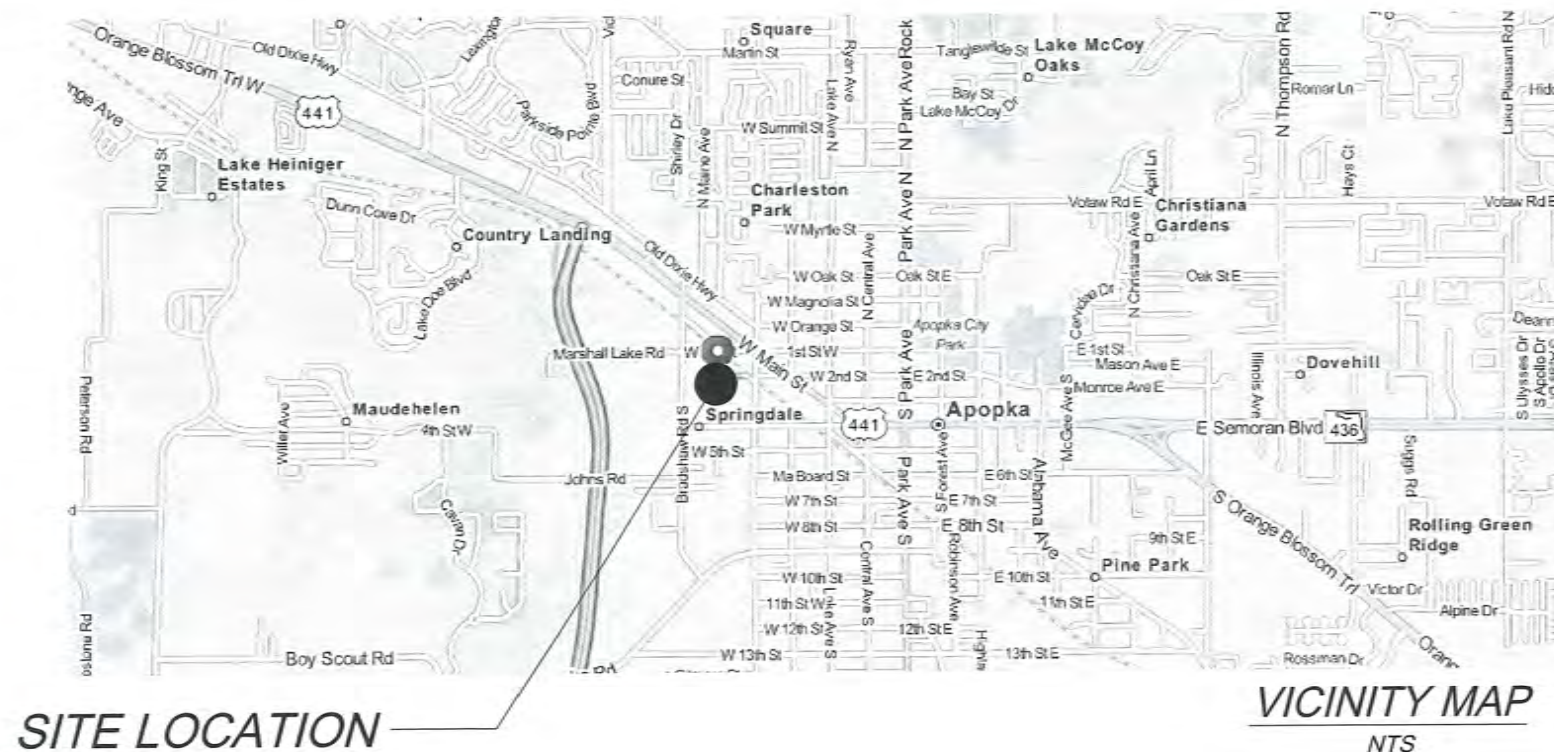
Application: Cooper Palms Commerce Center (Lots 10 and 11) – Final Development Plan
Owner: Property Industrial Enterprises, LLC
Parcel I.D. No's: 09-21-28-0868-01-260; 09-21-28-0868-01-250; 09-21-28-0868-01-240;
09-21-28-0868-01-230; 09-21-28-1675-00-110 and 09-21-28-1675-00-120
Location: South of West 2nd Street and west of South Hawthorne Avenue
Total Acres: 2.81 +/- Acres



AERIAL MAP



SITE PLAN INDEX OF DRAWINGS	
DRAWING NO.	DRAWING DESCRIPTION
1	COVER
2	LEGEND AND SITE DATA
3	GENERAL NOTES
4	SITE PLAN
5	STORMWATER & UTILITY PLAN
6	DRAINAGE BASIN MAP (PRE-DEVELOPMENT)
7	DRAINAGE BASIN MAP (POST-DEVELOPMENT)
8	RETENTION POND DETAILS
9	POLLUTION PREVENTION PLAN
10	UTILITY DETAILS
11	UTILITY DETAILS
L-1	LANDSCAPE PLAN



A FINAL DEVELOPMENT PLAN FOR: COOPER PALMS COMMERCE PARK (PHASE-2)

PARCEL ID: 09-21-28-1675-00-050
 PARCEL ID: 09-21-28-1675-00-060
 PARCEL ID: 09-21-28-1677-07-000
 PARCEL ID: 09-21-28-1675-00-002
 PARCEL ID: 09-21-28-1677-00-002
 PARCEL ID: 09-21-28-1677-09-000
 PARCEL ID: 09-21-28-1675-00-110
 PARCEL ID: 09-21-28-1675-00-120

CITY OF APOPKA
JANUARY, 2017



No.	Revision/Issue	Date

ENGINEER OF RECORD
 ALI TEHRANI, P.E.
 FLORIDA P.E. LICENSE NO.48235
 621 Sherwood Dr.
 Altamonte Springs, FL 32751
 Ph. (407) 948-0811

PROJECT NAME
 COOPER PALMS
 COMMERCE PARK
 564 Cooper Commerce Dr., Suite 500
 Apopka, FL 32703

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ABBREVIATIONS

A	
AB	ANCHOR BOLT
ABD	ABANDON(ED)
AC	ACRE(S)
AC-FT	ACRE FOOT/FEET
ACP	ASBESTOS CEMENT PIPE
ADDL	ADDITIONAL
ADT	AVERAGE DAILY TRAFFIC
AL	ALUMINUM
AU	BEFORE NOON
APPROX	APPROXIMATE
ARV	AIR RELEASE VALVE
ARVV	AIR RELEASE VACUUM VALVE
ASPH	ASPHALT
ASSY	ASSEMBLY
AVE	AVENUE
AVG	AVERAGE

B	
BFP	BACKFLOW PREVENTER
BL	BASELINE
BLDG	BUILDING
BLVD	BOULEVARD
BM	BENCH MARK
BN	BOUNDARY
BO	BLOWOFF
B/C	BACK OF CURB
B/W	BOTTOM OF WALL
BV	BUTTERFLY VALVE
BVC	BEGIN VERTICAL CURVE

C	
CB	CATCH BASIN
C/C	CENTER TO CENTER
CF	CUBIC FEET
CFM	CUBIC FEET PER MINUTE
CFS	CUBIC FEET PER SECOND
C&G	CURB AND GUTTER
CIP	CAST IRON
CIP	CAST IRON PIPE
CJ	CONSTRUCTION JOINT
C/L	CENTER LINE
CLP	CONCRETE LIGHT POLE
CLR	CLEAR/CLEARANCE
CL	CLASS
CM	CONCRETE MONUMENT
CMP	CORRUGATED METAL PIPE
CO	COUNTRY
CO	CLEANOUT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE(S)
CNR	CORNER
CPP	CONCRETE POWER POLE
CS	CONTROL STRUCTURE
CTR	CENTER
CATV	CABLE TELEVISION
CULV	CULVERT
CV	CHECK VALVE
CY	CUBIC YARD

D	
DBL	DOUBLE
DBH	DIAMETER AT BREAST HEIGHT
DEG	DEGREE
DEPT	DEPARTMENT
DET	DETAIL
DH-WL	DESIGN HIGH WATER LEVEL
DIA	DIAMETER
DM	DIMENSION
DIP	DUCTILE IRON PIPE
DISCH	DISCHARGE
DIST	DISTANCE
DWH	DROP MANHOLE
DN	DOWN
DRN	DRAIN
DWG	DRAWING

E	
E	EAST
EA	EACH
EG	EXISTING GRADE
ELEC	ELECTRIC
ELEV	ELEVATION
ELLIP	ELLIPSE/ELLIPTICAL
ENC	ENCASEMENT
ENG	ENGINEER(ING)
EOP	EDGE OF PAVEMENT
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
ESMT	EASEMENT
EST	ESTIMATE
EVC	END VERTICAL CURVE
EXIST	EXISTING
EXP	EXPAND/EXPANSION
EXT	EXTEND/EXTENSION

F	
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
FF	FINISHED FLOOR

F	
FG	FINISHED GRADE
FIG	FIGURE
FIN	FINISHED
FLR	FLOOR
FLEX	FLEXIBLE
FLG	FLANGE
FM	FORCE MAIN
FND	FOUND
FT	FEET/FOOT
FTG	FOOTING

G	
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED
GM	GAS MAIN
GPD	GALLONS PER DAY
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GPS	GALLONS PER SECOND
GV	GATE VALVE
GV&B	GATE VALVE AND BOX
GW	GUY WIRE

H	
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HORIZ	HORIZONTAL
HP	HORSEPOWER
HGT	HEIGHT
HW	HEADWALL
HWL	HIGH WATER LEVEL
HWY	HIGHWAY
HTD	HYDRANT

I	
I-4	INTERSTATE HIGHWAY
IA	INTERSECTION ANGLE
ID	INSIDE DIAMETER
IN	INCHES
INL	INLET PIPE
IP	IRON PIPE
IR	IRON ROD
INT	INTERSECT/INTERSECTION
INV	INVERT

J	
JB	JUNCTION BOX
JCT	JUNCTION
JT	JOINT

L	
LAT	LATITUDE
LATL	LATERAL
LB	POUND
LF	LINEAR FEET/FOOT
LG	LONGITUDE
LP	LIGHT POLE
LS	LIFT STATION
LT	LEFT
LWL	LOW WATER LEVEL

M	
MAINT	MAINTENANCE
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MES	MITERED END SECTION
MFR	MANUFACTURER
MGD	MILLION GALLONS PER DAY
MH	MANHOLE
MHWL	MEAN HIGH WATER LEVEL
MIN	MINIMUM
MISC	MISCELLANEOUS
MJ	MECHANICAL JOINT
MLWL	MEAN LOW WATER LEVEL
MON	MONUMENT
MPH	MILES PER HOUR
MSL	MEAN SEA LEVEL

N	
N	NORTH
NA	NOT APPLICABLE
NCL	NORMAL CONTROL LEVEL
NE	NORTHEAST
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO OR #	NUMBER
NTS	NOT TO SCALE
NW	NORTHWEST
NWL	NORMAL WATER LEVEL

O	
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPNG	OPENING
OPP	OPPOSITE
OVHD	OVERHEAD

P	
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PEP	POLYETHYLENE PIPE
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
P/L	PROPERTY LINE
PCB	POINT OF BEGINNING
POS	POINT OF SERVICE
PP	POWER POLE

P	
PRC	POINT OF REVERSE CURVATURE
PRESS	PRESSURE
PROJ	PROJECT
PROP	PROPOSED
PRV	PRESSURE REDUCING VALVE
PRVC	POINT OF REVERSE VERTICAL CURVE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PV	PLUG VALVE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PWR	POWER

Q	
Q	FLOW RATE

R	
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RED	REDUCER
REF	REFERENCE
REINF	REINFORCE(D)
REQ'D	REQUIRED
REV	REVISE/REVISION
RPBP	REDUCED PRESSURE BACKFLOW PREVENTOR
RPM	REVOLUTIONS PER MINUTE
RR	RAILROAD
RV	RELIEF VALVE
R/W	RIGHT-OF-WAY
RWM	REUSE WATER MAIN

S	
S	SOUTH
SAN	SANITARY SEWER
SCH	SCHEDULE
SE	SOUTHEAST
SEC	SECONDS
SECT	SECTION
SF	SQUARE FEET
SH	SHEET
S/L	SETBACK LINE
SPEC	SPECIFICATIONS
SQ	SQUARE
SQ IN	SQUARE INCHES
SQ YD	SQUARE YARDS
SS	STATE ROAD
ST	STAINLESS STEEL
ST	STREET
STA	STATION
STD	STANDARD
STL	STEEL
STR	STRUCTURE
STS	STORM SEWER
SVC	SERVICE
SW	SOUTHWEST
S/W	SIDEWALK
SYM	SYMBOL(S)
SYS	SYSTEM

T	
T	TANGENT
T&B	TOP AND BOTTOM
TBM	TEMPORARY BENCH MARK
TC	TIME OF CONCENTRATION
TDH	TOTAL DYNAMIC HEAD
TE	TOP ELEVATION
TEMP	TEMPORARY
TOB	TOP OF BANK
TOC	TOP OF CURB
TOS	TOP OF SLOPE
T/W	TOP OF WALL
TS	TOP OF SLOPE
TWP	TOWNSHIP
TYP	TYPICAL

U	
UD	UNDERDRAIN
UG	UNDERGROUND
UTC	UNDERGROUND TELEPHONE CABLE

V	
VB	VALVE BOX
VC	VERTICAL CURVE
VCP	VITRIFIED CLAY PIPE
VERT	VERTICAL
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY

W	
W	WEST
W/	WITH
WM	WATER MAIN
W/O	WITHOUT
WPP	WOOD POWER POLE
WSWT	WET SEASON WATER TABLE
WV	WATER VALVE
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH

Y	
YD	YARD
YR	YEAR

MISC.	
&	AND
@	AT
Δ	DELTA

LEGEND

BARBED WIRE FENCE

CENTER LINE

CHAIN LINK FENCE

CONTOURS

EASEMENT LINE

GUARD RAIL

LOT LINES

PROPERTY LINE

RIGHT-OF-WAY

RETAINING WALL

SHORELINE

WETLAND LIMITS

STOCKADE FENCE

TREE LINE

EROSION CONTROL

BUFFER / SETBACK

100 LINEAR FEET

SANITARY 12" PVC

PIPE @ 0.30% SLOPE

CLEANOUT

DBL SEWER LATERAL

SINGLE SEWER LATERAL

2" PVC PIPE FORCE MAIN

MANHOLE

100 LINEAR FEET

STORM 24" RCP

@ 0.21% SLOPE

6" PVC UNDERDRAIN

DRAINAGE FLOW ARROW

CURB INLET

MANHOLE

MITERED END SECTION

SLOPE DIRECTIONAL

FOR PONDS

SPOT GRADE

STORM INLET

STORM STRUCTURE ID

6" PVC WATER MAIN

6" PVC REUSE

WATER MAIN

FIRE DEPT. CONNECTION

BACKFLOW PREVENTER

DOUBLE WATER SERVICE

SINGLE WATER SERVICE

GATE VALVE

FIRE HYDRANT

WATER METER

REDUCER

BLOWOFF

BENCH MARK

BOUNDARY CORNER

CONCRETE

LIGHT POLE

ROAD SIGN

EDGE OF PAVEMENT

W/O CURB

GUY POLE

UTILITY POLE

GAS MAIN

CABLE TV

ELECT. BURIED CABLE

TELEPHONE CABLE

CURB & PAVEMENT

OVERHEAD WIRE

DETAIL REFERENCE

FF ELEVATION &

FHA LOT GRADING TYPE

HANDICAP PARKING

PAVEMENT MARKINGS

SITE DATA

OWNER
PROPERTY INDUSTRIAL ENTERPRISES, LLC
564 COOPER COMMERCE DR., SUITE 500
APOPKA, FL 32703
(407) 889-2210

ENGINEER
ALI TEHRANI, P.E.
621 SHERWOOD DR
ALTAMONTE SPRINGS, FL 32751
(407) 948-0811
FLORIDA PE #48235

SURVEYOR
NIETO WHITTAKER SURVEYING, LLC
362 W. SPRING TREE WAY
LAKE MARY, FL 32746
(407) 484-0103

SITE DATA
PARCEL ID#: 09-21-28-1676-01-000
PARCEL ID#: 09-21-28-1675-00-080
PARCEL ID#: 09-21-28-1676-00-050
PARCEL ID#: 09-21-28-1675-00-060
PARCEL ID#: 09-21-28-1677-07-000
PARCEL ID#: 09-21-28-1675-00-002
PARCEL ID#: 09-21-28-1677-00-002
PARCEL ID#: 09-21-28-1677-09-000
PARCEL ID#: 09-21-28-1675-00-110
PARCEL ID#: 09-21-28-1675-00-120
PARCEL ADDRESS: 564 COOPER COMMERCE DR., APOPKA, FL 32703
TOTAL AREA: 864,669.95 (SF) / 19.850 (AC)
CURRENT ZONING: I-1
PROPOSED ZONING: I-1

FUTURE LAND USE

INDUSTRIAL

PROPOSED USE

INDUSTRIAL WAREHOUSE/OFFICE COMPLEX

PROPOSED IMPROVEMENTS

THE MASTER INFRASTRUCTURE IMPROVEMENTS SHALL INCLUDE UTILITY (DRINKING WATER, SANITARY SEWER, RECLAIMED WATER AND STORM WATER) AND OTHER INFRASTRUCTURE TO SERVE THE TOTAL PROJECT.

STORMWATER
THE MASTER STORMWATER SYSTEM HAS BEEN SIZED TO MEET THE APOPKA BASIN RULE AND THE WEKIVA RECHARGE REQUIREMENTS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. ADDITIONALLY THE POST-DEVELOPMENT PEAK DISCHARGE RATE FOR THE MEAN ANNUAL AND THE 25 YEAR - 24 HOUR STORM EVENTS WILL BE EQUAL OR LESS THAN THE PRE-DEVELOPMENT DISCHARGE RATE. THE POND IS SIZED BASED ON 80% IMPERVIOUS & 20% PERVIOUS AREA PER EACH INDIVIDUAL LOT.

TOTAL SITE AREA = 864,669.95 (SF) / 19.850 (AC)
PERVIOUS AREA (37.86%) = 327,355.09 (SF) / 7.515 (AC)
IMPERVIOUS AREA (62.14%) = 537,314.86 (SF) / 12.335 (AC)

DEVELOPMENT OF INDIVIDUAL PARCELS/LOTS
SUBSEQUENT PARCEL DEVELOPMENT SHALL BE REQUIRED TO MEET ALL CITY OF APOPKA LAND DEVELOPMENT CODE REQUIREMENTS IN EFFECT AT THE TIME OF PERMANENT ISSUANCE. NO OUTSIDE STORAGE AREA IS TO BE PERMITTED WITH THESE IMPROVEMENTS. BUILDING ELEVATION PLANS MUST BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH LOT. THE DEVELOPER IS ENCOURAGED TO SUBMIT BUILDING ELEVATIONS TO THE CITY PRIOR TO SUBMITTAL OF A BUILDING APPLICATION.

FLOOD ZONE

ZONE "A" 100-YR. MARSHALL LAKE FLOOD PLAIN = 71.20 (NGVD-29)

Plan Notes

No.	Revision/Issue	Date

ENGINEER OF RECORD
ALI TEHRANI, P.E.
FLORIDA P.E. LICENSE NO.48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
Ph. (407) 948-0811

PROJECT NAME
**COOPER PALMS
COMMERCE PARK**
564 Cooper Commerce Dr., Suite 500
Apopka, FL 32703

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GENERAL NOTES

1. CONTRACTOR IS ADVISED THAT PRIOR TO BEGINNING ANY WORK ONSITE, THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) REQUIRES THE FILING OF A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES CONSTRUCTION GENERAL PERMIT. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FILE THE NOI AND FORWARD COPIES TO TEHRANI CONSULTING ENGINEERING AND THE LOCAL MS4 OPERATOR, IF APPLICABLE. CONTACT FDEP NPDES STORMWATER NOTICES CENTER AT 866-336-6312 FOR MORE INFORMATION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. FOR STORMWATER POLLUTION PREVENTION PLAN, NOTES AND CONTRACTOR'S CERTIFICATION, SEE PAGE 8.
4. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING A SAFE AND SECURE CONSTRUCTION SITE. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL SAFETY CODES AND REQUIREMENTS TO INSURE THAT WORKERS, AND ALL OTHER AFFECTED PERSONS, MATERIALS, ONSITE AND OFFSITE MATERIALS, ONSITE AND OFFSITE PROPERTY, ARE SAFE. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO INSURE THE SITE IS SECURE AND NOT ACCESSIBLE TO UNAUTHORIZED PERSONS.
5. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY TEHRANI CONSULTING ENGINEERING OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS AND THE FIELD CONDITIONS.
6. 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING:
- | | |
|----------------------------|----------------|
| APOPKA PUBLIC WORKS | (407) 703-1731 |
| APOPKA BUILDING DEPARTMENT | (407) 703-1713 |
| BELLSOUTH TELEPHONE | (888) 757-6500 |
| DUKE ENERGY | (407) 629-1010 |
| BRIGHT HOUSE NETWORKS | (407) 291-2500 |
| TEHRANI CONSULTING ENG. | (407) 948-0811 |

7. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES THAT ARE TO BE SAVED. IF THERE IS A QUESTION AS TO WHETHER A PARTICULAR AREA SHOULD BE CLEARED, THE CONTRACTOR SHALL CONTACT THE OWNER FOR FURTHER INSTRUCTIONS.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTS. DISTURBED MONUMENTS SHALL BE RESTORED AT CONTRACTOR'S EXPENSE, BY A FLORIDA LICENSED LAND SURVEYOR SELECTED BY THE OWNER.

9. THE TOPOGRAPHIC SURVEY INFORMATION SHOWN WAS PROVIDED BY NIETO WHITTAKER SURVEYING, LLC. AND IS NOT CERTIFIED BY TEHRANI CONSULTING ENGINEERING.

10. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.

11. ALL PAVEMENT MARKERS, STRIPING, SIGNAGE, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED BY CONTRACTOR PER ALL MUNICIPAL AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.

12. REGULATORY STRIPPING AND SIGNS SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS.

13. ALL DISTURBED AREAS, SIGNAGE, AND LIGHTING SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.

14. ALL EQUIPMENT, INCLUDING ROOFTOP AND UTILITY BOXES, MUST BE FULLY SCREENED FROM VIEW OF RIGHTS-OF-WAY AND ADJACENT PROPERTIES.

PAVING AND GRADING NOTES

1. SITE GRADING, PAVING, AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO CITY OF APOPKA DEVELOPMENT STANDARDS AND SPECIFICATIONS AND FDOT ROADWAY DESIGN STANDARD AND SPECIFICATIONS.
2. FOR GEOTECHNICAL RECOMMENDATIONS AND FINDING, REFER TO THE GEOTECHNICAL INVESTIGATION PREPARED BY YOVAISH ENGINEERING SCIENCES, INC.. UPDATED GEOTECHNICAL RECOMMENDATIONS AND FINDINGS, REFER TO THE GEOTECHNICAL INVESTIGATIONS PREPARED BY YOVAISH ENGINEERING SCIENCES, INC.
3. ELEVATIONS AT CURB ARE EDGE OF PAVEMENT; TOP OF CURB SHALL BE 6" ABOVE EDGE OF PAVEMENT.
4. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PARKING AND DRIVEWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE RESULT FROM THE ADJUSTMENTS DESCRIBED, THE CONTRACTOR SHALL NOTIFY THE SITE SUPERINTENDENT AND THE ENGINEER PRIOR TO PLACING BASE SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
5. MINIMUM GRADE OF SODDED AREA SHALL BE 1%.
6. A SMOOTH FINISHED TRANSITION SHALL BE MADE AT ALL CURB TERMINATIONS (TYPICAL 2 FOOT TAPER) UNLESS OTHERWISE NOTED.
7. AFTER THE COMPLETION OF THE STORMWATER FEATURES, INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT PERMIT.
8. THE FOLLOWING CONSTRUCTION PROCEDURES ARE RECOMMENDED FOR THE DRY POND(S), PER ST. JOHNS RIVER WATER MANAGEMENT DISTRICT:
- (A) INITIALLY CONSTRUCT THE RETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY APPROXIMATELY 12-INCHES.
- (B) AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHOULD BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL SHOULD BE CAREFULLY EXCAVATED AND REMOVED, SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE MATERIAL SHOULD BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
- (C) ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM SHOULD BE DEEP RAKED AND LOOSENED FOR OPTIMAL INFILTRATION.
- (D) FINALLY, THE BASIN SHOULD BE STABILIZED WITH PERVIOUS MATERIAL OR PERMANENT VEGETATIVE COVER. TO PROVIDE PROPER TREATMENT OF THE RUNOFF IN VERY PERMEABLE SOILS, PERMANENT VEGETATIVE COVER MUST BE UTILIZED WHEN U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (SCS) HYDROLOGIC GROUP "A" SOILS UNDERLIE THE RETENTION BASIN.
9. PRIOR TO FINAL ACCEPTANCE THE CONTRACTOR SHALL PROVIDE TEHRANI CONSULTING ENGINEERING WITH COMPLETE STORMWATER AS-BUILTS INCLUDING CONTROL STRUCTURES, INLETS AND PIPES, SPREADER SWALES (IF ANY), AND POND CONTOURS, DIMENSIONS, AND SLOPES.
10. ALL DISTURBED AREAS ONSITE AND OFFSITE SHALL BE RETURNED TO ORIGINAL CONDITIONS OR BETTER, SOD ALL DISTURBED AREAS.
11. ALL HIGH-DENSITY POLYETHYLENE (HDPE) PIPE USED FOR STORM DRAIN APPLICATIONS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M294 CURRENT EDITION AND BE CERTIFIED THROUGH THE PLASTIC PIPE INSTITUTE (PPI) THIRD PARTY CERTIFICATION PROGRAM. ALL HDPE PIPE DELIVERED AND USED SHALL BEAR THE THIRD PARTY ADMINISTERED PPI SEAL. ALL HDPE JOINTS SHALL BE WATER TIGHT AND CERTIFIED TO MEET A MINIMUM LAB TEST OF 10.8 PSI PER ASTM D3212.

UTILITY NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND CITY OF APOPKA STANDARDS AND SPECIFICATIONS. IN CASE OF A CONFLICT THE MOST STRINGENT RULE SHALL APPLY.
2. GRAVITY SEWER MAIN PIPE SHALL BE PVC EXCEPT AS NOTED AND SHALL MEET ASTM D3034 (SDR 35), JOINTS SHALL CONFORM TO ASTM D3212 AND F477.
3. GRAVITY SEWER MAIN SHALL BE TESTED PER CITY OF APOPKA STANDARDS, PIPE SHALL BE LAMPED FOR ALIGNMENT, SLOPE TRUENESS, INFILTRATION, STANDING WATER, AND CLEANLINESS BY A CITY OF APOPKA INSPECTOR AND TEHRANI CONSULTING ENGINEERING REPRESENTATIVE. LEAKAGE TESTING SHALL ALSO BE PERFORMED IF REQUIRED BY CITY OF APOPKA.
4. THE ENGINEER AND CITY OF APOPKA INSPECTOR SHALL BE NOTIFIED AT LEAST 5 DAYS PRIOR TO ANY TESTING. FAILURE TO DO SO WILL RESULT IN RETESTING AT THE CONTRACTOR'S EXPENSE.
5. COMPLETE AS-BUILT DRAWINGS PREPARED BY A PROFESSIONAL LAND SURVEYOR SHALL BE PROVIDED TO THE ENGINEER IMMEDIATELY AFTER COMPLETION OF THE WATER AND SEWER IMPROVEMENTS. AS-BUILTS SHALL INCLUDE MANHOLE LOCATION WITH TOP AND INVERT ELEVATION, LOCATION OF VALVES, FITTINGS, AND OTHER APPURTENANCES, LENGTHS OF PIPE, TOP OF WATER MAIN ELEVATIONS, SIZE AND MATERIAL OF PIPE, SEPARATION DISTANCES AT PIPE CROSSINGS AND SHALL MEET CITY OF APOPKA REQUIREMENTS.
6. CONTRACTOR SHALL NOTIFY UTILITIES AND SUNSHINE PRIOR TO CONSTRUCTION FOR FLAGGING / LOCATION OF EXISTING UTILITY LINES, EXISTING UTILITY LOCATIONS SHOWN ARE ONLY APPROXIMATE.
7. ALL SEWER PIPE SHALL BE BURIED WITH IDENTIFICATION TAPE ABOVE THE TOP OF THE PIPE. THE TAPE SHALL INDICATE THE PRESENCE OF GRAVITY SEWERS PLAINLY ON THE TAPE FACE. INDICATOR TAPE SHALL BE DETECTABLE BY STANDARD METAL DETECTION EQUIPMENT.
8. ALL WATER MAINS SHALL BE INSTALLED WITH CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES. ALL PIPE AND PIPE FITTINGS SHALL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320 (21) (B) 3, F.A.C., USING BLUE AS A PREDOMINANT COLOR.
9. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN 18 INCHES VERTICAL CLEARANCE OR THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
10. WHERE WATER MAINS AND STORM SEWER PIPES CROSS WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
11. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST TEN FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR:
- A. THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR;
- B. IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (A) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
- C. IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
12. HORIZONTAL SEPARATION OF 10 FEET (EDGE TO EDGE) MINIMUM AND VERTICAL SEPARATION OF 18 INCHES MINIMUM SHALL BE MAINTAINED BETWEEN FORCE MAINS AND WATER MAINS. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
13. THE CONTRACTOR SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION AND TESTING BEYOND THE WATER METER TO ASSURE POTABILITY AT THE POINT OF USE.
14. POTABLE WATER PIPES SHALL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 AND C605/M23 FOR DUCTILE IRON AND PVC PIPES RESPECTIVELY AND WITNESSED BY CITY INSPECTOR AND TEHRANI CONSULTING ENGINEERING REPRESENTATIVE. CHLORINATION AND BACTERIOLOGICAL TESTING SHALL BE PERFORMED PER AWWA C651 AND WITNESSED BY CITY OF APOPKA INSPECTOR.
15. POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- A. DUCTILE IRON PIPE (3 INCHES TO 54 INCHES) - AWWA C160/C151;
- B. PVC (WITH NATIONAL SANITATION FOUNDATIONS SEAL)
- (1) AWWA C900/ASTM 1784 (4 INCHES TO 12 INCHES) WITH DR18 MINIMUM;
- (2) AWWA C905 (14 INCHES TO 36 INCHES);
- (3) ASTM 1785 OR AWWA C905 (LESS THAN 4 INCHES) SCHEDULES 40, 80, AND 120 OR ASTM 2241 (SDR 21 MINIMUM);
- C. POLYETHYLENE PIPE - AWWA C901 WITH VALVES AND FITTINGS (AWWA C800); AND
16. IF CONNECTION TO THE WATER MAIN WILL RESULT IN A DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
- A. PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASE OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH ARE DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE FDEP CENTRAL DISTRICT OR WILL AFFECT THE BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGEMENT, THAT THE INTEGRITY OF THE WATER SYSTEM HAS BEEN MAINTAINED; OR
- B. IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR AND NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.
17. ALL AIR/VACUUM RELIEF VALVES MUST END IN A DOWN-TURNED ELBOW WITH AT LEAST 12 INCHES ABOVE THE SURROUNDING GRADE UNLESS THE WET SEASON WATER TABLE CAN BE SHOWN TO BE BELOW THE VAULT BOTTOM.
18. FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATION C651.
19. PROPOSED GATE VALVES AT POINTS OF CONNECTION SHALL BE CLOSED AND REMAIN LOCKED UNTIL LINE IS CLEARED. CITY OF APOPKA PUBLIC UTILITIES SHALL LOCK VALVE AND RETAIN KEY. VALVE SHALL BE OPERATED BY CITY OF APOPKA PERSONNEL ONLY.
20. MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED PIPES, EXCEPT AS SPECIFICALLY SHOWN ON THESE PLANS. WATER MAINS SHALL BE SUFFICIENTLY DEEP TO PROVIDE CLEARANCE WITH STORM AND SANITARY SEWER LINES.
21. ON-SITE WATER DISTRIBUTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.

22. ON-SITE WASTEWATER COLLECTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED BY PROPERTY OWNERS ASSOCIATION.
23. ON-SITE RECLAIMED WATER DISTRIBUTION SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED BY PROPERTY OWNERS ASSOCIATION.
24. WATER MAIN SHALL NOT COME IN CONTACT WITH OR PASS THROUGH ANY SANITARY OR STORM SEWER MANHOLE OR STRUCTURE.
25. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES AND POINTS OF CONNECTION. IF ANY DISCREPANCIES WITH PIPE, FITTING, VALVE OR STRUCTURE LOCATIONS ARE DISCOVERED DURING STAKEOUT, CONTRACTOR SHALL REFER TO TEHRANI CONSULTING ENGINEERING: (407) 948-0811 FOR CLARIFICATION.
26. FIRE HYDRANTS SHALL BE CENTERED WITHIN PROPOSED ISLANDS, APPROXIMATELY THREE FEET FROM THE BACK OF CURB. PUMPER NOZZLE SHALL FACE PARKING LOT.
27. ALL PVC PIPE SHALL BEAR THE NATIONAL SANITATION FOUNDATION (NSF) SEAL.
28. CHAPTER 77-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. PLANS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS OR SERVICES LINES. THE ONLY SAFE AND PROPER WAY TO LOCATE GAS FACILITIES IS BY AN ON-SITE INSPECTION BY LAKES PROPANE NATIONAL GAS PERSONNEL. THEREFORE, EXCAVATORS ARE INSTRUCTED TO TELEPHONE O.N.I.S. AT 1-800-432-4770 TWO WORKING DAYS BEFORE DIGGING IN A CONSTRUCTION AREA.
29. WHERE GRAVITY SEWER PIPES AND STORM SEWER PIPES CROSS WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE GRAVITY SEWER PIPE SHALL BE 20 FEET OF PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED, CENTERED ON THE POINT OF CROSSING.
30. WATER SYSTEM JOINTS SHALL BE INTEGRAL BELL PUSH ON TYPE AND CONFORM TO ASTM 3139.
31. CONTRACTOR SHALL MEET ALL CONDITIONS OF THE FDEP PERMITS.
32. ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
33. ALL MASTER METERS SHALL BE EQUIPPED WITH RADIO READ (AMR) DEVICES COMPATIBLE WITH THE CURRENT CITY AMR SYSTEM.
34. ALL WASTEWATER FLOWS ASSOCIATED WITH THIS DEVELOPMENT MUST COMPLY WITH THE REQUIREMENTS SET FORTH IN THE CITY OF APOPKA INDUSTRIAL WASTE GUIDELINES, SECTION 82-38 OF THE CITY MUNICIPAL CODE.

Plan Notes

GENERAL NOTES

No.	Revision/Issue	Date

ENGINEER OF RECORD

ALI TEHRANI, P.E.

FLORIDA P.E. LICENSE NO.48235

621 Sherwood Dr.
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Ph. (407) 948-0811

PROJECT NAME

COOPER PALMS
COMMERCE PARK

564 Cooper Commerce Dr., Suite 500
Apopka, FL 32703

DWG Page 1-3	SHEET 3 3 of 11
Date January 3, 2017	
Scale As Shown	



SCALE: 1" = 50'

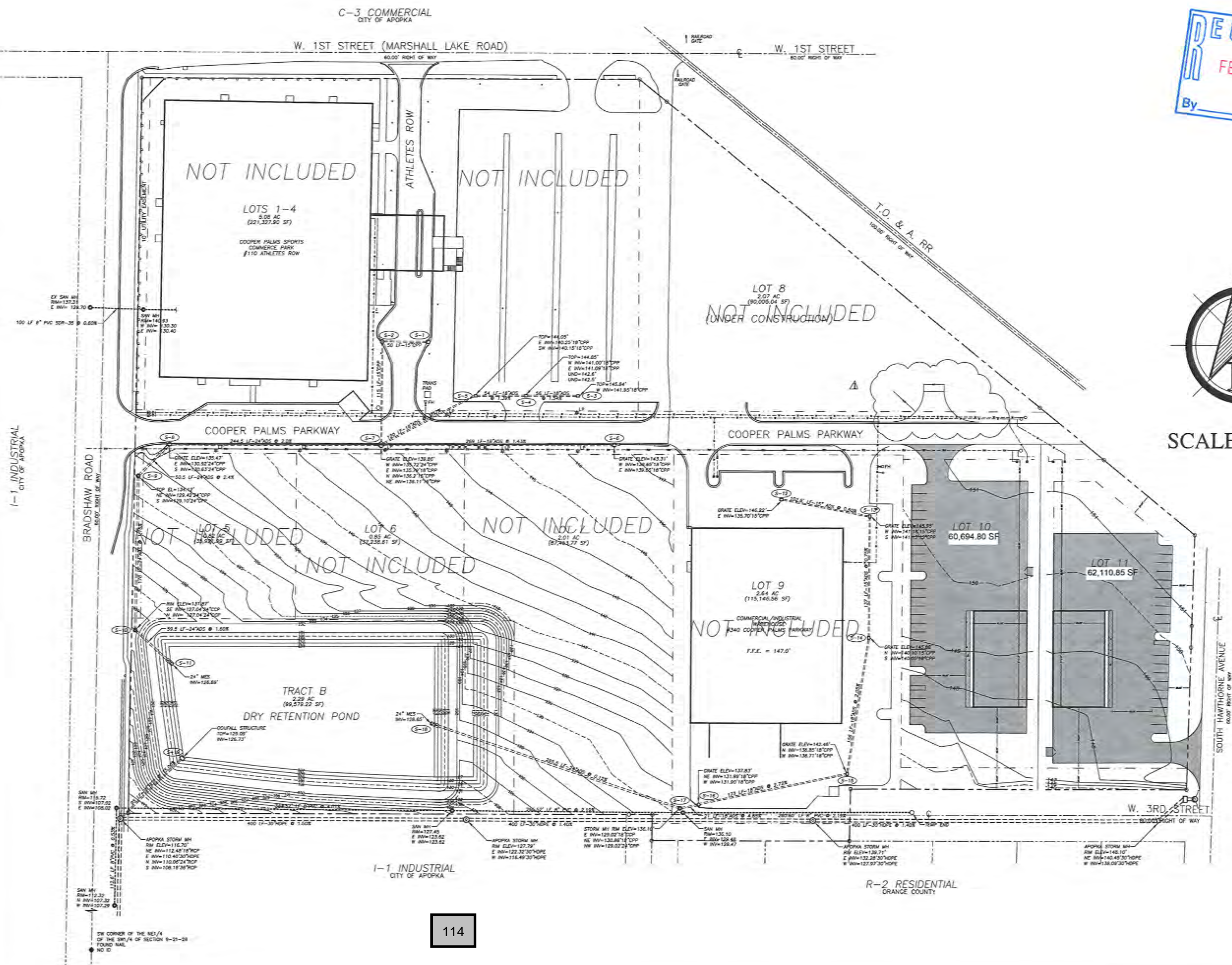
SITE PLAN

No.	Revision/Issue	Date
1	CITY COMMENTS	2/17

ENGINEER OF RECORD
ALI TEHRANI, P.E.
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COOPER PALMS COMMERCE PARK
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 Apopka, FL 32703

DWG Page 4	PAGE 4
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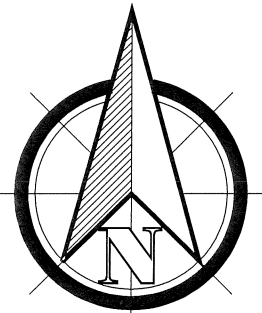


COOPER PALMS COMMERCE PARK
STORMWATER/DRAINAGE STRUCTURES

<p>STS-1 SW INLET TYPE-C CAST IRON GRATE FOOT INDEX NO. 232 TOP ELEV=148.00' W INV=143.00' (18"CPP)</p>	<p>STS-2 SW INLET TYPE-C CAST IRON GRATE FOOT INDEX NO. 232 TOP ELEV=145.00' S INV=140.00' (18"CPP)</p>	<p>STS-3 SW MANHOLE TOP TYPE-B PRECAST CONCRETE CONE FOOT INDEX NO. 201 ROUND STRUCTURE BOTTOM TYPE-C (14'-0") TOP ELEV=144.00' N INV=138.00' (18"CPP) NE INV=138.30' (18"CPP) W INV=138.10' (18"CPP)</p>	<p>STS-4 SW INLET TYPE-D CAST IRON GRATE FOOT INDEX NO. 232 TOP ELEV=144.50' E INV=140.00' (30"CPP) NW INV=129.60' (30"CPP)</p>	<p>STS-5 MITERED END SECTION 30" SINGLE PIPE (14'-4") WITH ENERGY DISSIPATOR FOOT INDEX NO. 272 INV=127.00'</p>	<p>STS-6 SW INLET TYPE-D CAST IRON GRATE FOOT INDEX NO. 232 OUTFALL STRUCTURE TOP ELEV=130.75' S INV=124.00' (30"CPP)</p>
<p>STS-7 SW MANHOLE TOP TYPE-B PRECAST CONCRETE CONE FOOT INDEX NO. 201 ROUND STRUCTURE BOTTOM TYPE-C (18'-0") FOOT INDEX NO. 200 TOP ELEV=120.00' N INV=114.25' (30"CPP) E INV=111.00' (30"CPP) W INV=111.50' (30"CPP)</p>	<p>STS-8 SW INLET TYPE-C CAST IRON GRATE FOOT INDEX NO. 232 TOP ELEV=142.40' E INV=137.00' (18"CPP) N INV=136.85' (18"CPP) W INV=136.71' (24"CPP)</p>	<p>STS-9 SW INLET TYPE-C CAST IRON GRATE FOOT INDEX NO. 232 TOP ELEV=137.83' NE INV=133.30' (24"CPP) SW INV=132.20' (24"CPP)</p>	<p>STS-10 SW MANHOLE TOP TYPE-B PRECAST CONCRETE CONE FOOT INDEX NO. 201 ROUND STRUCTURE BOTTOM TYPE-C (14'-0") FOOT INDEX NO. 200 TOP ELEV=138.10' NE INV=131.80' (24"CPP) W INV=131.80' (30"CPP)</p>		

Cooper Palms Commerce Park
Stormwater Pipe System - Future System
10-years / 24-hours

Pipe Segment	Runoff Coefficient (C)	Pervious Area (A) ac	Runoff Coefficient (C)	Impervious Area (A) ac	Rainfall Intensity (I) in/hr	Generated Runoff (Q) cfs	Manning's Coefficient (n)	Channel Slope (S) ft/ft	Required Pipe Diameter (ID) in	Selected Pipe Diameter (ID) in	Selected Pipe Material
(STS-1) - (STS-2)	0.30	0.567	0.95	0.915	7.50	6.655	0.213	0.02	13.3	18	HDPE
(STS-2) - (STS-3)	0.30	0.159	0.95	0.161	7.50	7.036	0.073	0.02	13.6	18	HDPE
(STS-3) - (S-15)	0.30	1.026	0.95	1.765	7.50	13.991	0.013	0.02	17.4	18	HDPE
(S-15) - (S-16)	0.30	1.268	0.95	1.990	7.50	22.478	0.013	0.02	21.0	24	HDPE
(S-16) - (S-17)	0.30	1.454	0.95	3.734	7.50	28.772	0.013	0.02	23.0	24	HDPE
(S-17) - (STS-4)	0.30	1.244	0.95	3.734	7.50	28.772	0.013	0.01	26.2	30	HDPE
(STS-4) - (STS-6)	0.30	0.402	0.95	1.608	7.50	12.046	0.013	0.02	16.6	18	HDPE
(STS-6) - (STS-8)	0.30	1.156	0.95	1.330	7.50	46.818	0.013	0.02	23.0	30	HDPE



SCALE: 1" = 50'

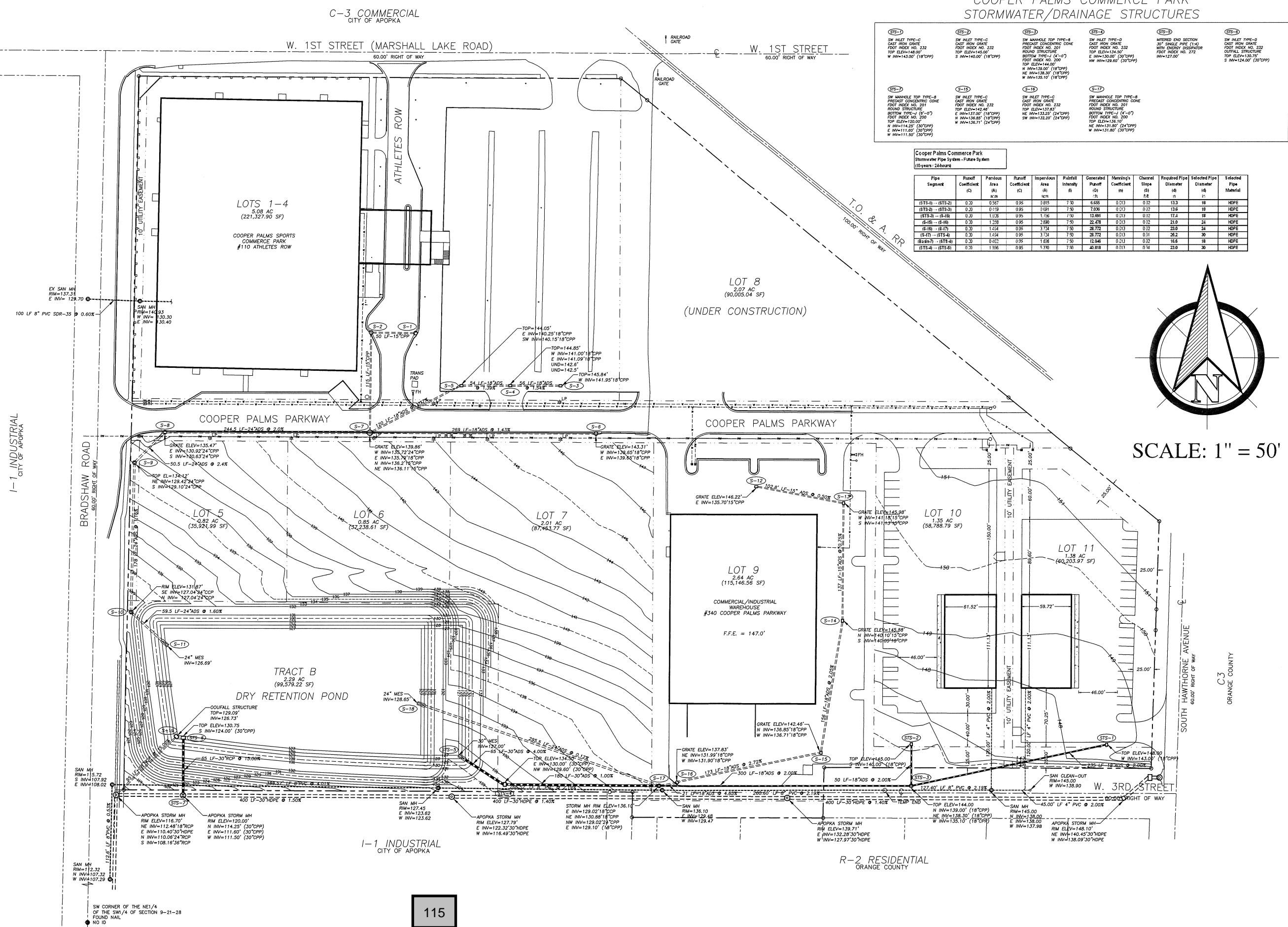
STORMWATER & UTILITY PLAN

No.	Revision/Issue	Date

ENGINEER OF RECORD
ALI TEHRANI, P.E.
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621 Sherwood Dr.
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PROJECT NAME
COOPER PALMS COMMERCE PARK
564 Cooper Commerce Dr., Suite 500
Apopka, FL 32703

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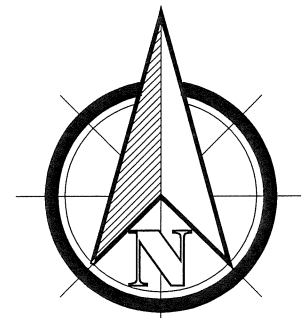
DRAINAGE BASIN MAP (PRE-DEVELOPMENT)

No.	Revision/Issue	Date

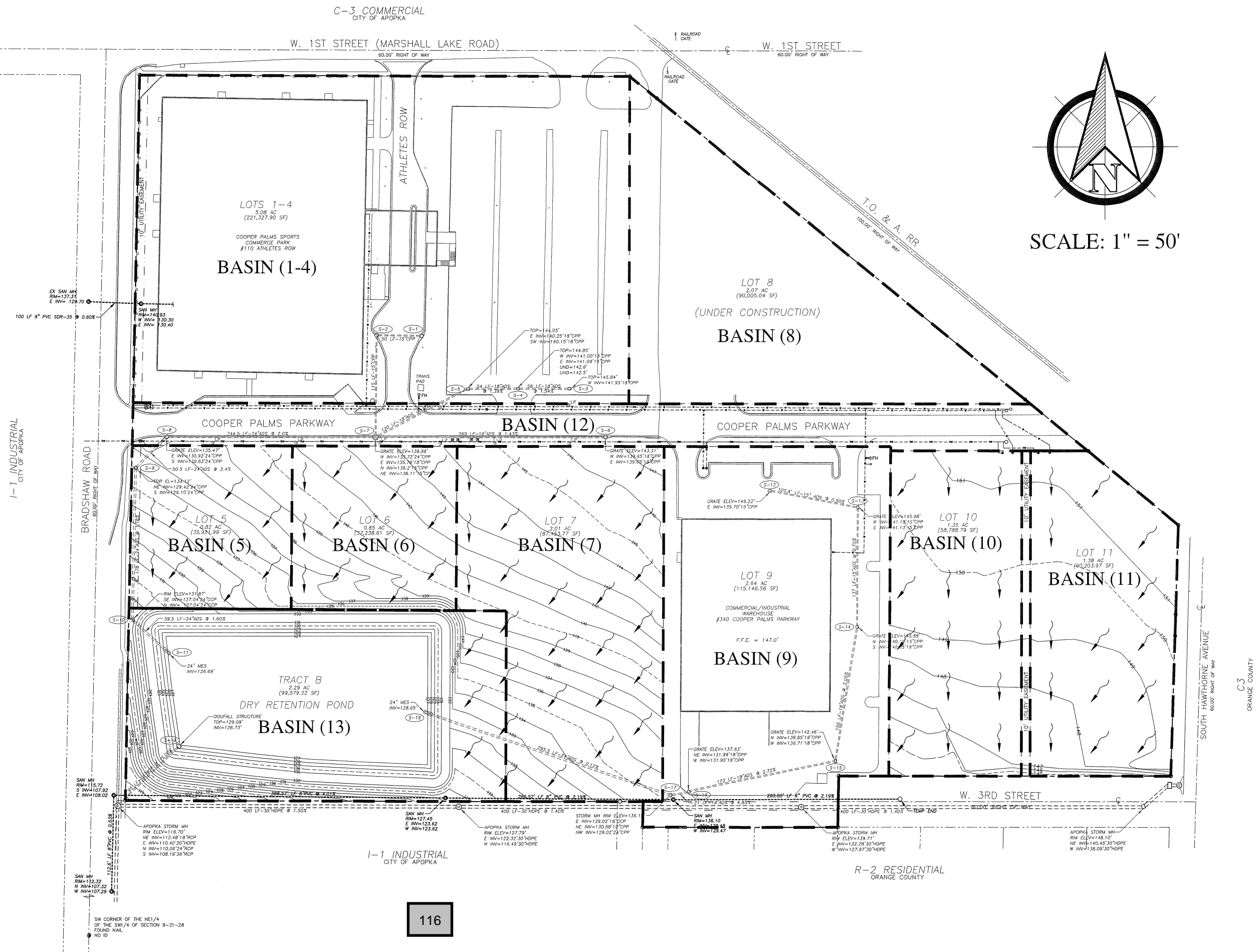
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SCALE: 1" = 50'



C-3 COMMERCIAL
CITY OF APOPKA

W. 1ST STREET (MARSHALL LAKE ROAD)

W. 1ST STREET

Drainage Basin	Previous Area			Impervious Area			Total Area		
	(SF)	(AC)	(%)	(SF)	(AC)	(%)	(SF)	(AC)	(%)
Basin (1-4)	55,778.33	1.28166	24.97	166,351.17	3.81702	75.03	222,129.50	5.09868	100.00
Basin (8)	19,801.02	0.45225	20.00	72,504.67	1.63250	80.00	92,305.69	2.08475	100.00
Basin (12)	14,024.39	0.31799	20.41	41,569.21	0.94000	63.59	55,593.60	1.25799	100.00

Drainage Basin	Previous Area			Impervious Area			Total Area		
	(SF)	(AC)	(%)	(SF)	(AC)	(%)	(SF)	(AC)	(%)
Basin (5)	7,184.40	0.16430	20.00	26,727.50	0.60372	80.00	33,911.90	0.76742	100.00
Basin (6)	7,427.72	0.17090	20.00	22,769.89	0.51396	80.00	30,197.61	0.68486	100.00
Basin (7)	5,340.84	0.12144	20.00	17,153.36	0.38774	80.00	22,494.20	0.50918	100.00
Basin (9)	77,204.64	1.73434	20.00	167,505.50	3.75000	75.24	244,710.14	5.48434	100.00
Basin (10)	21,805.20	0.50247	20.00	88,508.50	0.19854	83.54	110,313.70	2.50091	100.00
Basin (11)	20,824.80	0.47133	42.37	25,433.66	0.57440	57.11	46,258.46	1.04573	100.00
Basin (13)	48,528.75	1.10151	20.00	0.00	0.00000	0.00	48,528.75	1.10151	100.00



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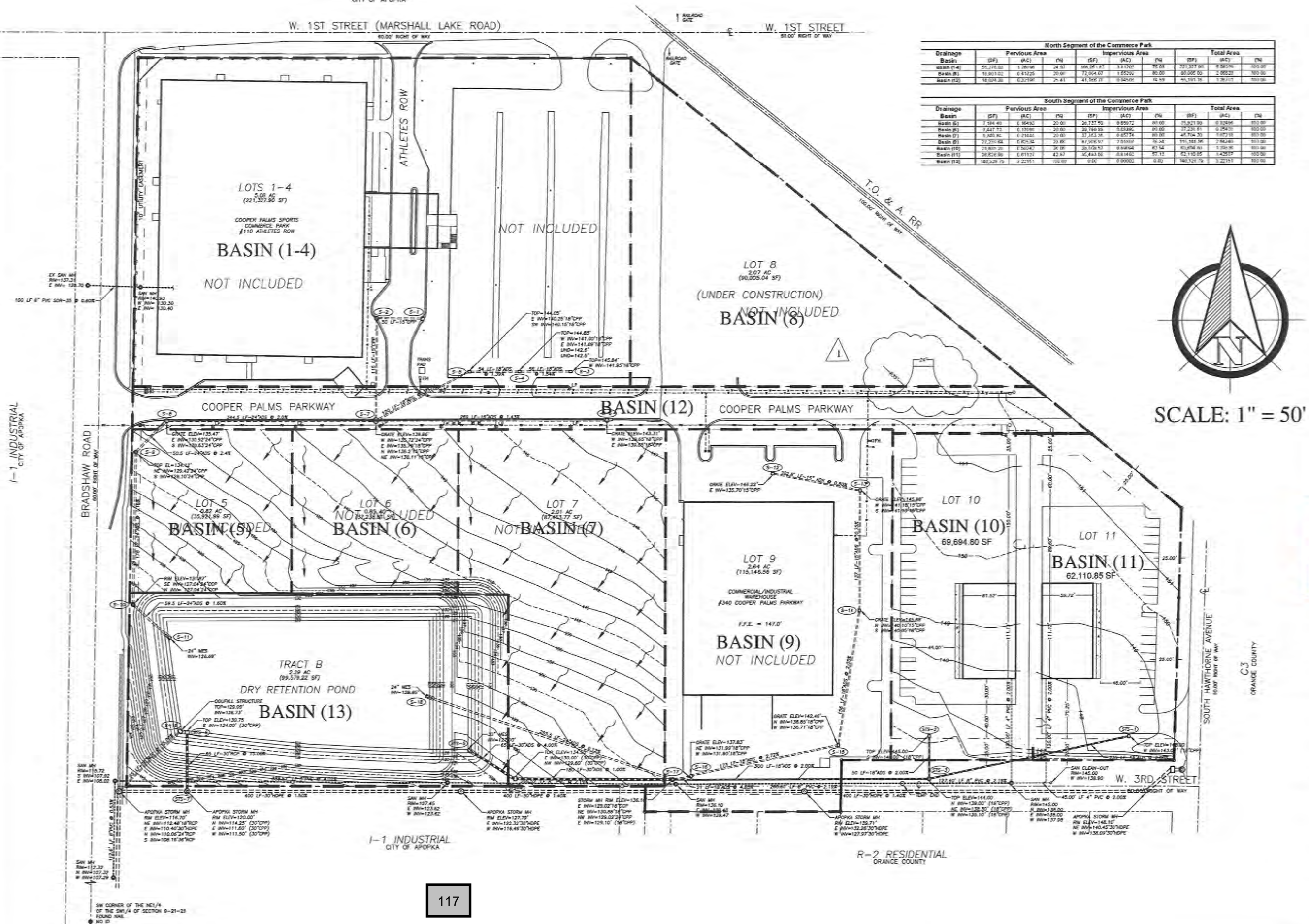
DRAINAGE BASIN MAP
(POST-DEVELOPMENT)

No.	Revision/Issue	Date
1	City Comments	2/17

ENGINEER OF RECORD
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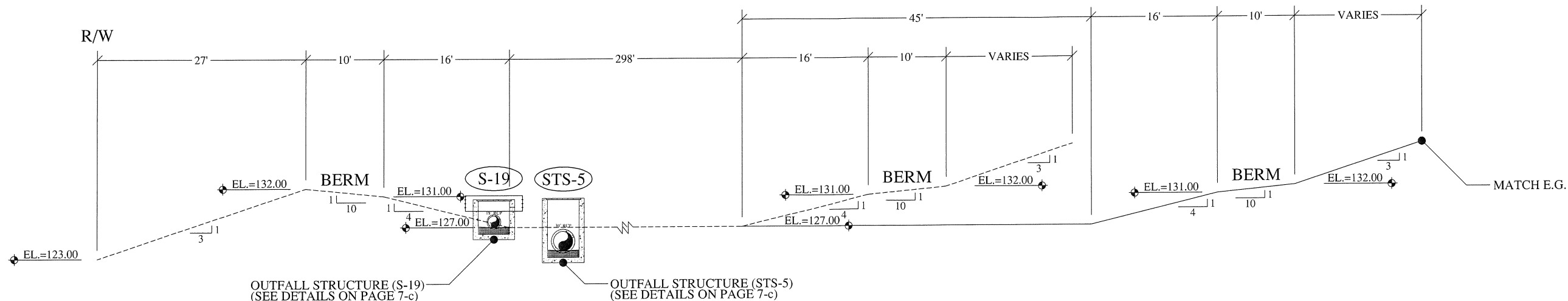
PROJECT NAME
COOPER PALMS COMMERCE PARK
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Date	January 3, 2017
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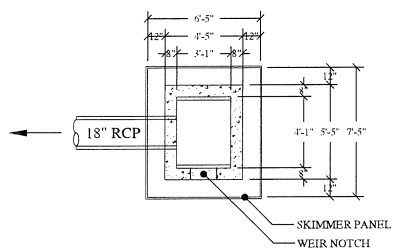
WEST

EAST



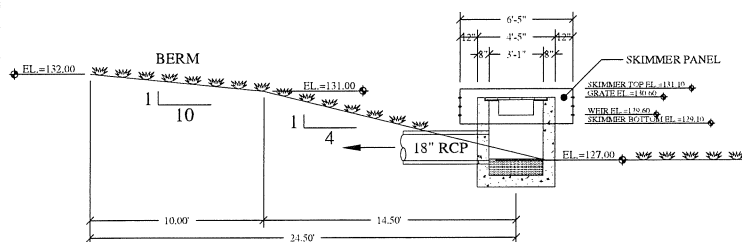
DRY RETENTION POND SECTIONAL VIEW (TYP.)

N.T.S.



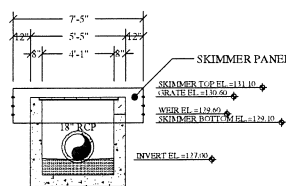
OUTFALL STRUCTURE (S-19)
PLAN VIEW (TYP.)

N.T.S.



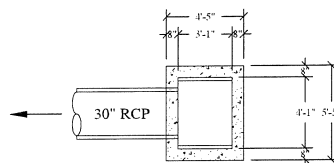
OUTFALL STRUCTURE (S-19)
PROFILE VIEW (TYP.)

N.T.S.



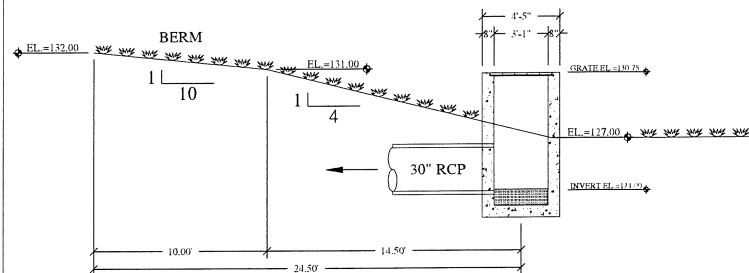
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SECTIONAL VIEW (TYP.)

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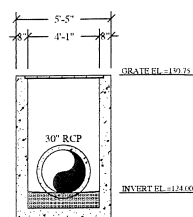
OUTFALL STRUCTURE (STS-5)
PLAN VIEW (TYP.)

N.T.S.



OUTFALL STRUCTURE (STS-5)
PROFILE VIEW (TYP.)

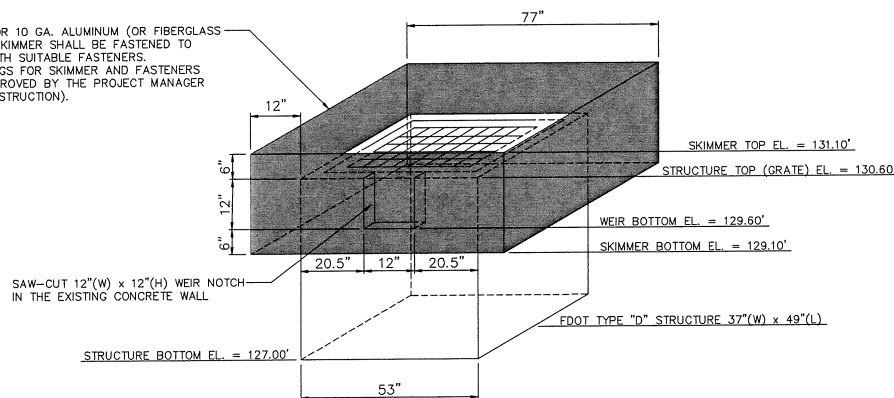
N.T.S.



OUTFALL STRUCTURE (STS-5)
SECTIONAL VIEW (TYP.)

N.T.S.

3/16" THICK OR 10 GA. ALUMINUM (OR FIBERGLASS EQUIVALENT) SKIMMER SHALL BE FASTENED TO STRUCTURE WITH SUITABLE FASTENERS. (SHOP DRAWINGS FOR SKIMMER AND FASTENERS SHALL BE APPROVED BY THE PROJECT MANAGER PRIOR TO CONSTRUCTION).



OUTFALL STRUCTURE (S-19)
ISOMETRIC VIEW (TYP.)

N.T.S.

Plan Notes

RETENTION POND DETAILS

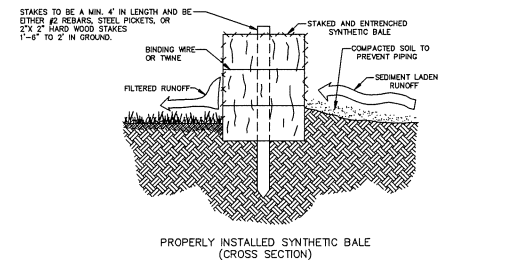
No.	Revision/Issue	Date

ENGINEER OF RECORD
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FLORIDA P.E. LICENSE NO. 48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
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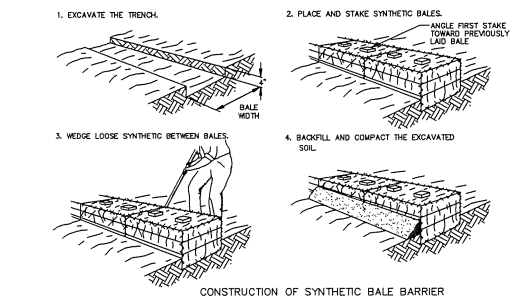
PROJECT NAME
**COOPER PALMS
COMMERCE PARK**
564 Cooper Commerce Dr., Suite 500
Apopka, FL 32703

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Scale As Shown	

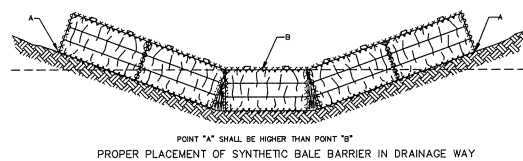
POLLUTION PREVENTION PLAN



PROPERLY INSTALLED SYNTHETIC BALE
(CROSS SECTION)

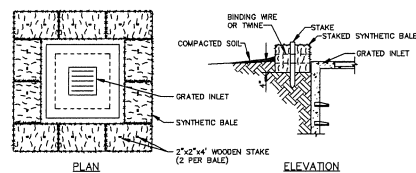


CONSTRUCTION OF SYNTHETIC BALE BARRIER



PROPER PLACEMENT OF SYNTHETIC BALE BARRIER IN DRAINAGE WAY

FIGURE 1
SYNTHETIC BALE BARRIER
N.T.S.



ELEVATION

FIGURE 2
SYNTHETIC BALE INLET SEDIMENT FILTER
N.T.S.

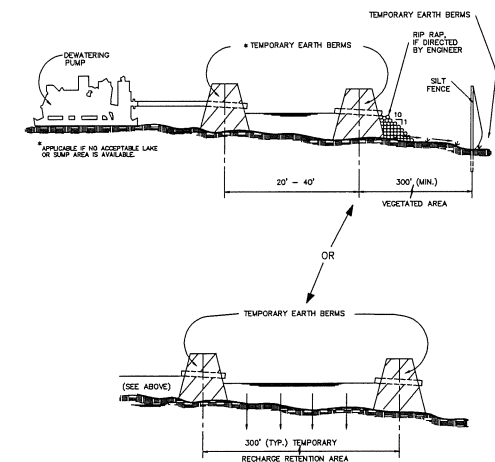
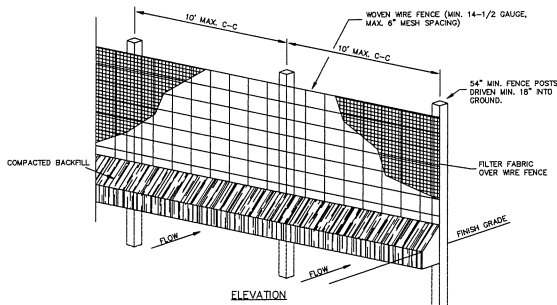


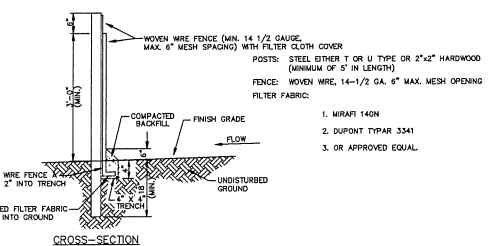
FIGURE 3
TYPICAL DEWATERING DISCHARGE PLAN
N.T.S.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UPON THE STAGE OF CONSTRUCTION, THE SEVERITY OF THE RAINFALL EVENT AND/OR AS DEEMED NECESSARY AS A RESULT OF ON-SITE INSPECTIONS.

FIGURE 4
EROSION & SEDIMENTATION CONTROL NOTES
N.T.S.



ELEVATION



1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

FIGURE 5
SEDIMENTATION / SILT FENCE
N.T.S.

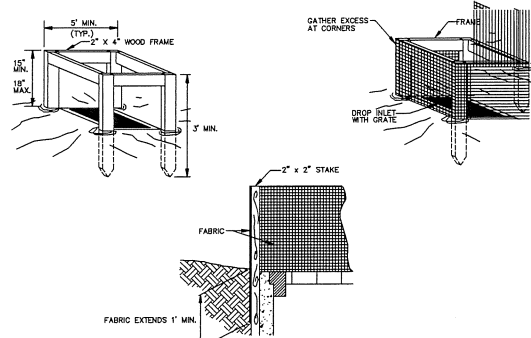
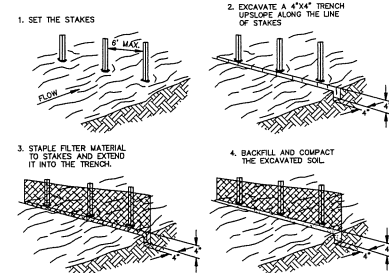
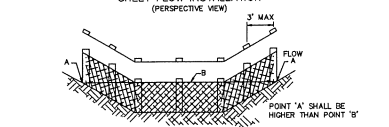


FIGURE 6
SILT FENCE INLET PROTECTION
N.T.S.

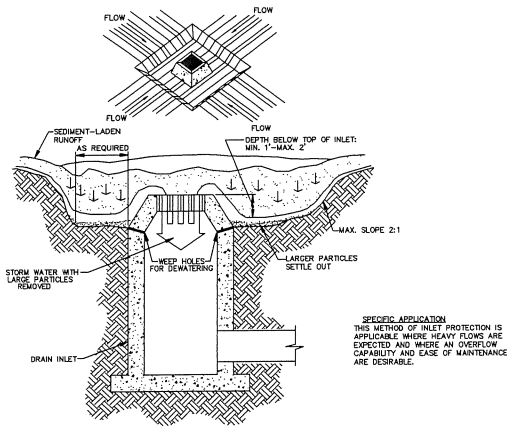


SHEET FLOW INSTALLATION
(PERSPECTIVE VIEW)



DRAINAGEWAY INSTALLATION
(FRONT ELEVATION)

FIGURE 7
SILT FENCE BARRIER
N.T.S.



SPECIFIC APPLICATION
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPABILITY AND EASE OF MAINTENANCE ARE DESIRABLE.

FIGURE 8
EXCAVATED INLET SEDIMENT TRAP
N.T.S.

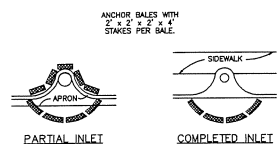


FIGURE 9
PROTECTION AROUND INLETS
OR SIMILAR STRUCTURES
N.T.S.

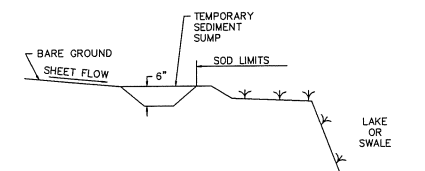


FIGURE 10
TEMPORARY SEDIMENT SUMP
N.T.S.

FIGURE 11
STAKED SILT BARRIER OR SILT FENCE PROTECTION
AROUND DITCH BOTTOM INLETS
N.T.S.

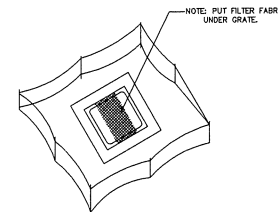


FIGURE 12
SILT BARRIER AT CONNECTION
OF STORM PIPE TO EXISTING SWALE
N.T.S.

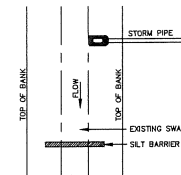
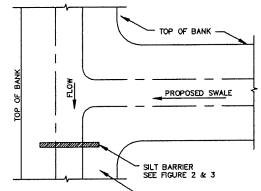


FIGURE 13
SILT BARRIER AT CONNECTION
OF SWALE TO EXISTING SWALE
N.T.S.



BEST MANAGEMENT PRACTICES

This plan has been prepared to ensure compliance with the Rules of the Florida Department of Environmental Protection, Chapter 17.25, F.A.C., and the St. John's River Water Management District, Chapter 402.4, F.A.C. The plan addresses the following areas:

1. Protection of preserved/conserved upland habitats during construction.
2. General erosion control.
3. Protection of surface water quality during and after construction.
4. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the technique should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

SECTION 1 - PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS

N/A.

SECTION 2 - GENERAL EROSION CONTROL

2.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slope cavities. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.

2.2 Cleared site development areas not continuously scheduled for construction activities shall be covered with hay or mulch and periodically watered sufficient to stabilize the temporary groundcover.

2.3 Slopes of banks of retention/sediment ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level.

2.4 All grass slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction.

2.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before the barriers, shown in Figure 9, are installed.

2.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 11. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

SECTION 3 - PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

3.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.

3.2 Where practical, silt barriers shall be conveyed by swales. Swales shall be constructed as shown in Figure 14.

3.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:

a. In general, erosion shall be controlled at the furthest practical upstream location.

b. Stormwater inlets shall be protected during construction as shown in Figures 2 and 10. Protection measures shall be employed as soon as practical during the various stages of construction. Silt barriers shall remain in place until sodding around inlets is complete.

3.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide special utility, synthetic, bare or soil, absorbent, and sediment sumps within such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.

3.5 Silt barriers, any silt which accumulates behind the barriers, and any inlets or structures the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 4 - CONTROL OF WIND EROSION

4.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:

a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.

b. As soon as practical after completion of construction, bare earth areas shall be vegetated.

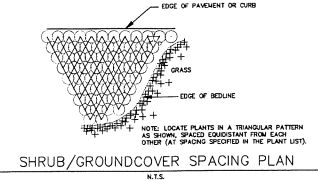
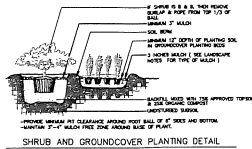
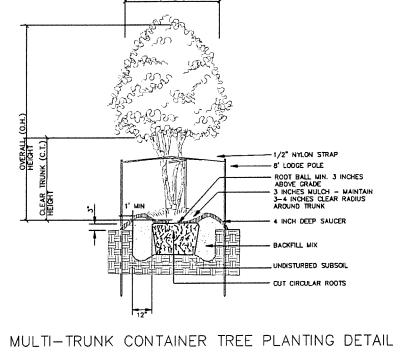
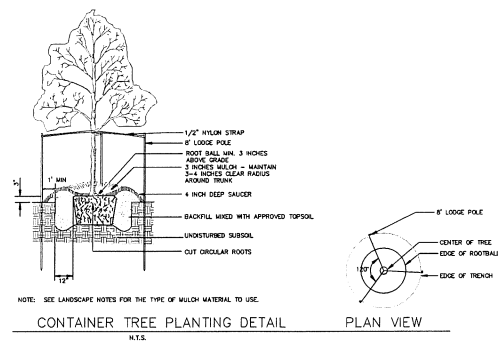
c. At any time both during and after site construction that existing and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 7 except the minimum height shall be 4 feet.

No.	Revision/Issue	Date

ENGINEER OF RECORD
ALI TEHRANI, P.E.
FLORIDA P.E. LICENSE NO. 48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
Ph. (407) 948-0811

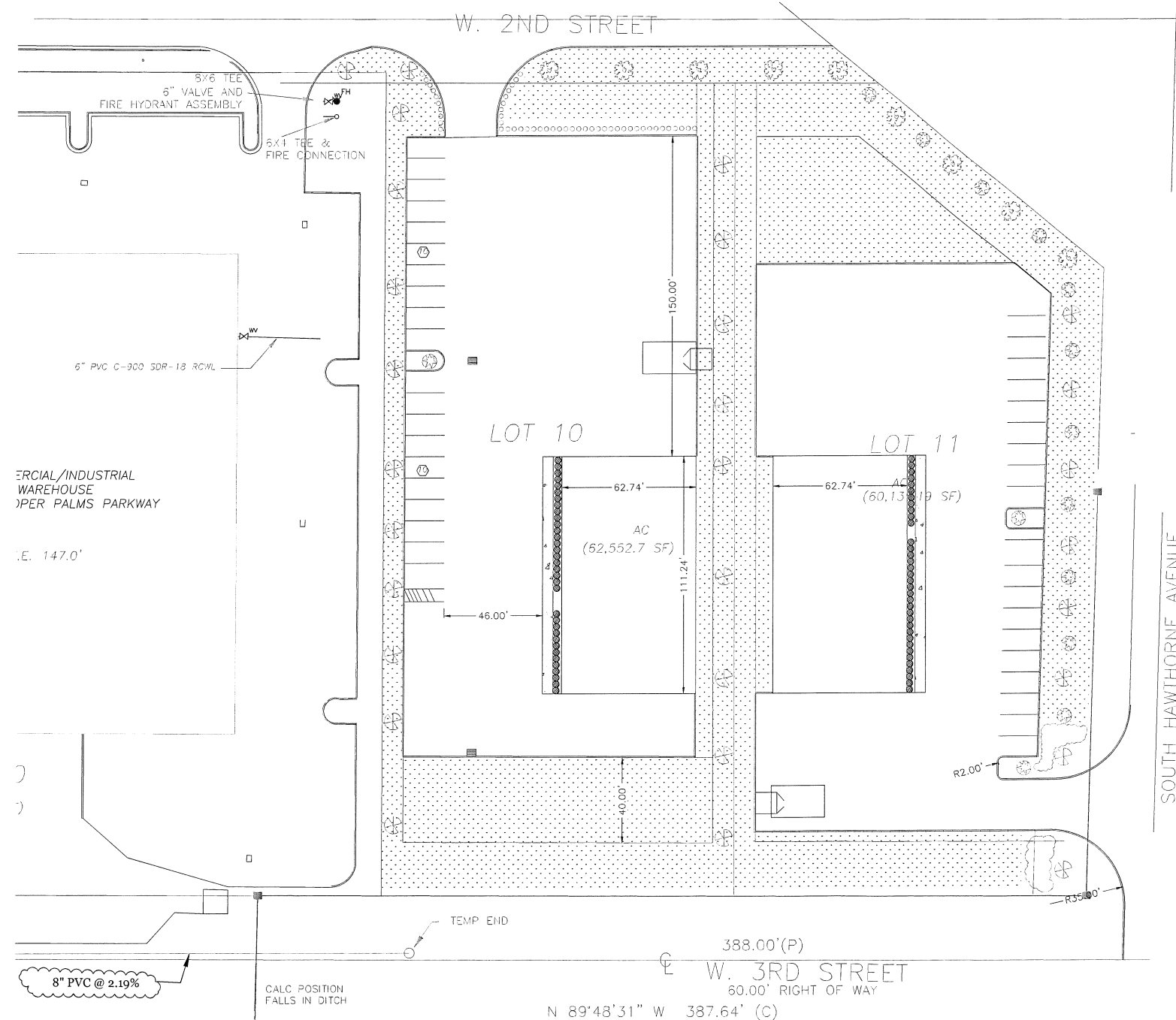
PROJECT NAME
**COOPER PALMS
COMMERCE PARK**
564 Cooper Commerce Dr., Suite 500
Apopka, FL 32703

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Date January 3, 2017	9
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LANDSCAPE NOTES:

- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation lines and plants.
- The Landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plant list shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
- Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. The Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of negligence in the execution of the work.
- No planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Plants, Part I and II, published by the Florida Department of Agriculture and Consumer Services or to the standards as given in the latest "American Standard for Nursery Stock," American National Standards Institute.
- The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. The caliper of tree trunks is to be taken 6" inches above the root ball.
- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to reestablish and replace all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- All trees and all palms shall be guyed or staked or braced. The Landscape Contractor shall determine which shall or multi-trunk trees need to be guyed and staked to maintain plants. Staking of trees and shrubs, if required, shall be done as per staking and guying detail prepared by the Landscape Architect. It shall be the responsibility of the Landscape Contractor to remove guys and stakes from the trees & job site after a period of 1 year.
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
- The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of bidding.
- Soil shall be ARGENTINE BAHIA AND certified to be free of the imported fire ant. Soil shall have a clean growth of acceptable grass, reasonably free of weeds with not less than 1 1/2" of soil firmly adhering to roots. It shall be the responsibility of the Landscape Contractor to measure and determine the exact amount required. This amount shall be verified with the Owner or Landscape Architect before installation.
- All plant beds shall be top dressed with a minimum of 2" shredded organic mulch (or approved equal). All trees are to be mulch.
- The Landscape Contractor shall insure that his work does not interfere established or projected drainage patterns.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and top areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- All tree pits shall be excavated to size and depth in accordance with the USDA Standard for Nursery Stock 250.1, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.
- The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any transplanted plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.
- Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to protect the Owner or his representatives in general maintenance procedures.
- Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting owner and all other care needed for proper growth of the plants.
- During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal watering and/or pruning of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date. At the time of the inspection, if all or the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor stating the date when the maintenance period ends.
- At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted, commencing from time of replacement. All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.
- All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be given and in satisfactory growth for each specific kind of plant at the end of the guarantee period.
- Topsoil shall be ASTM D 9233, natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that antides heavy growth. Topsoil shall have a pH range of 5.5 to 7.5 percent, free from rocks, objectionable weeds, litter, clogs, dirt clay, stones larger than 1-inch in diameter, clumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material.



LANDSCAPE PLAN

DESIGNED SHOP DRAWINGS FOR PERMANENT IRRIGATION 1"=30'-0"
SYSTEM TO BE SUBMITTED PRIOR TO INSTALLATION
NOTE: IRRIGATION RISER ARE NOT ALLOWED

- ALL SOIL SHALL BE ARGENTINE BAHIA.
- ALL GREEN AREAS OF TREES, PLANTS, AND SOIL TO BE IRRIGATED ACCORDINGLY.
- ALL PLANTS TO BE NO. 1 OR BETTER AND MEET ALL CITY OF APOPKA CODES AND ORDINANCES.
- ALL TREES SHALL RECEIVE THE NECESSARY IRRIGATION UNTIL THE ROOT SYSTEM AND TREE INCENT CAN SUSTAIN ITS OWN GROWTH THROUGH NATURE AND IRRIGATION SYSTEMS.
- ALL PLANTS AND BEDS SHALL RECEIVE MULCH ACCORDINGLY.
- ALL TREES SHALL BE STAKED/STAKED TO WITHSTAND NATURE'S WIND FORCES. TYPE OF STAKE SHALL BE OF A TYPE NOT TO INJURE THE TREE TRUNK.

MAHONIA (BRACKEN BROWN) Min. 3" in Caliper	LIVE/AURAL OAK (QUERCUS LAURIFOLIA) Min. 3" in Caliper, 10' High x 7" spread, 4" clear trunk MODERATE WATER USE
PALM (SABLE) Min. 3" in Caliper	GRAPE MYRTLE (MUSKOGEE) Min. 2" in Caliper, 7' High
VIBURNUM MINIMUM 36" O/C	INDIAN HAWTHORNE: RHAPHIOLEPIS Ø 24" O/C
JUNIPER (PARSON)	SPARE

- IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND COUNTY STAFF. ALTERATIONS TO LANDSCAPING AND BUFFERS REQUIRE THE WRITTEN PERMISSION OF ORANGE COUNTY FLORIDA.

- FIELD LOCATE ALL TREES SO AS TO NOT INTERFERE WITH ANY EXISTING AND/OR PROPOSED UTILITIES.

Plan Notes

5		
4		
3		
2		
1		
No.	Revision/Issue	Date

ALI TEHRANI P.E.
521 SHERWOOD DR
Altamonte Springs, Florida 32751
(407)-948-0811
Florida PE #48235

Project Name and Address

COOPER PALM
COMMERCE PARK
LOT 10 & 11
APOPKA, FL

Project	Sheet
Date	1-2-17
Scale	AS SHOWN

L1

TYPE "B" BEDDING AND OPEN-CUT DETAIL

TYPE "A" BEDDING AND OPEN-CUT DETAIL

VALVE BOX

TYPICAL VALVE BOX COVER DETAILS

FIG. 100

TYPICAL MANHOLE

FIG. 200

FIG. 101

MANHOLE CONNECTION DETAILS

FIG. 201

STANDARD MANHOLE FRAME AND COVER

FIG. 202

SERVICE LATERAL DETAIL

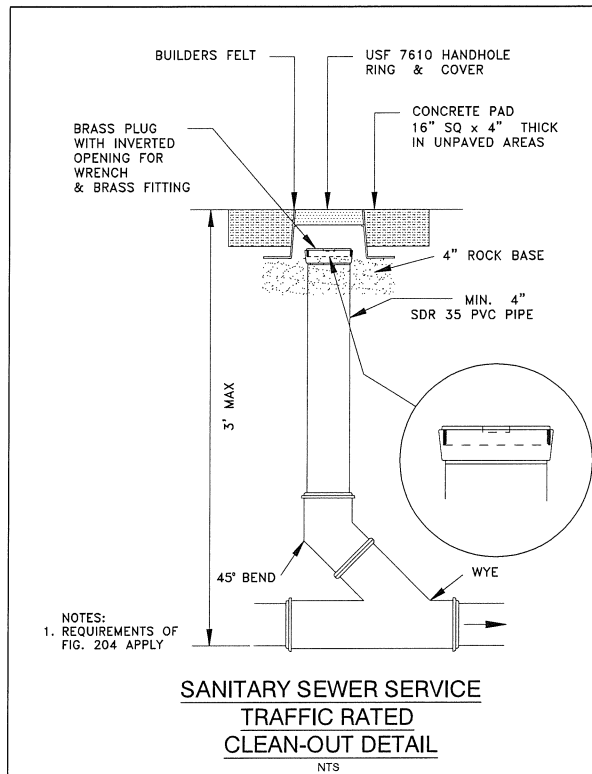
FIG. 204

No.	Revision/Issue	Date

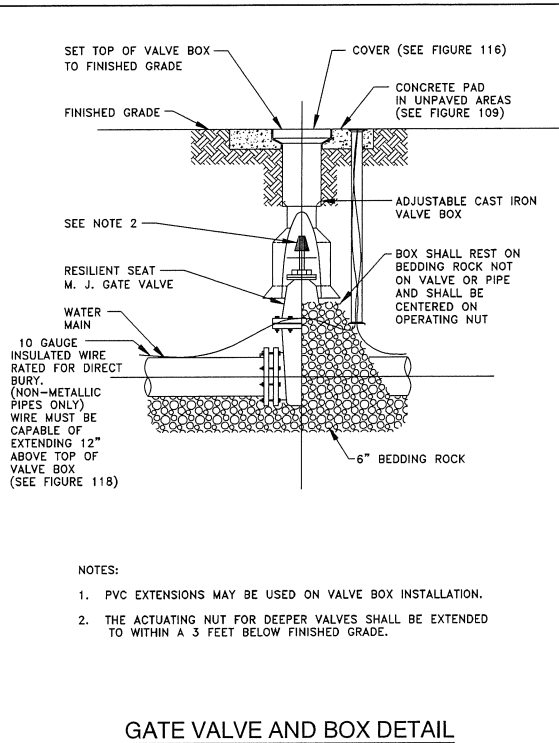
ENGINEER OF RECORD
ALI TEHRANI, P.E.
FLORIDA P.E. LICENSE NO.48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
Ph. (407) 948-0811

PROJECT NAME
**COOPER PALMS
COMMERCE PARK**
564 Cooper Commerce Dr., Suite 500
Apopka, FL 32703

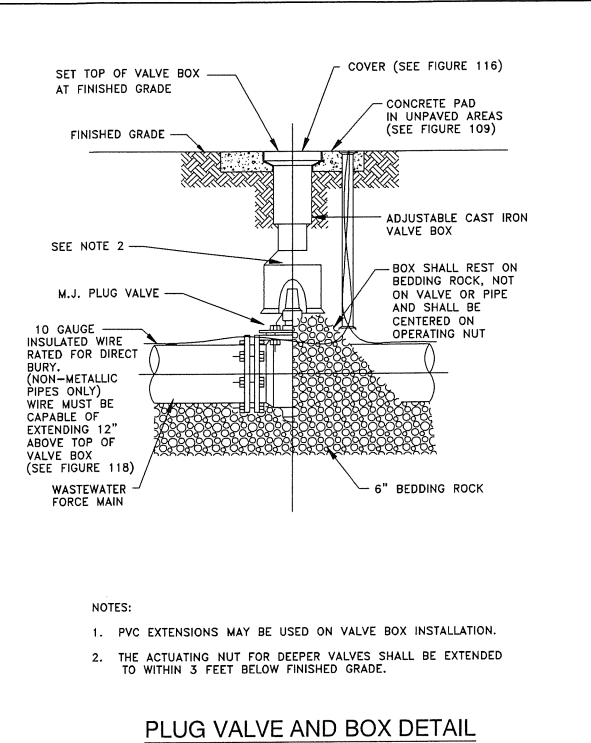
DWG Page 11	PAGE
Date January 3, 2017	11
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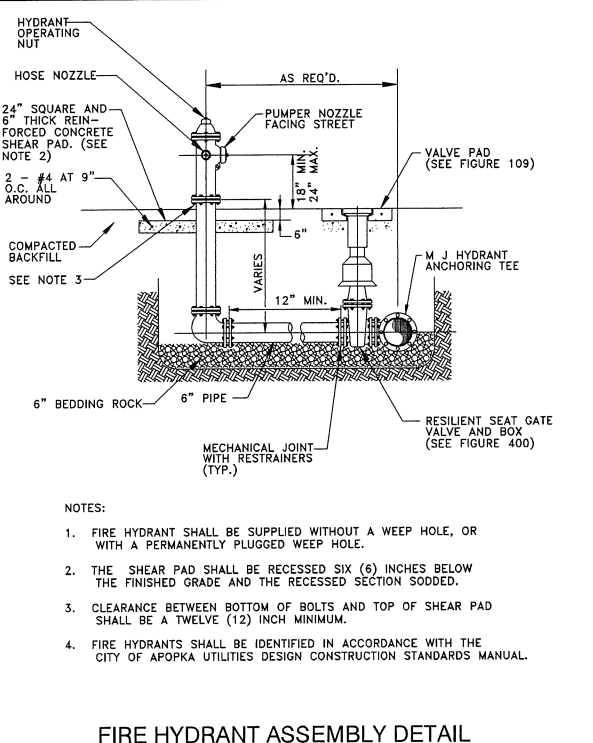
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 205



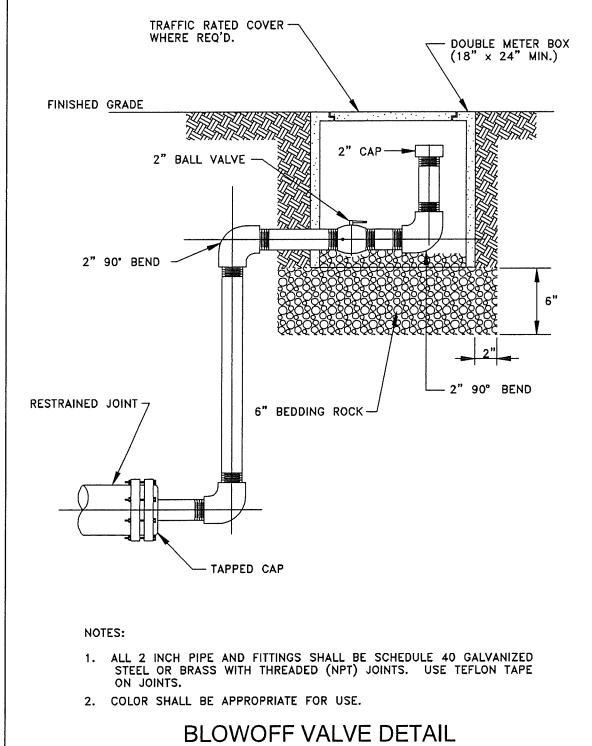
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 400



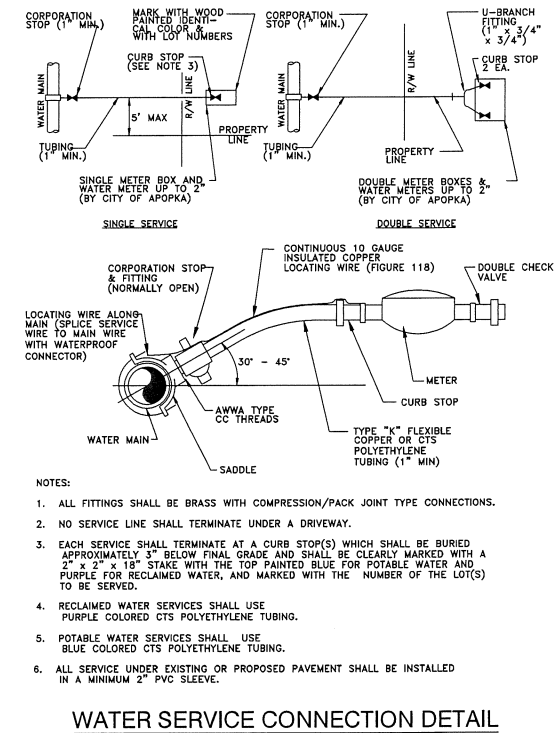
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 400 A



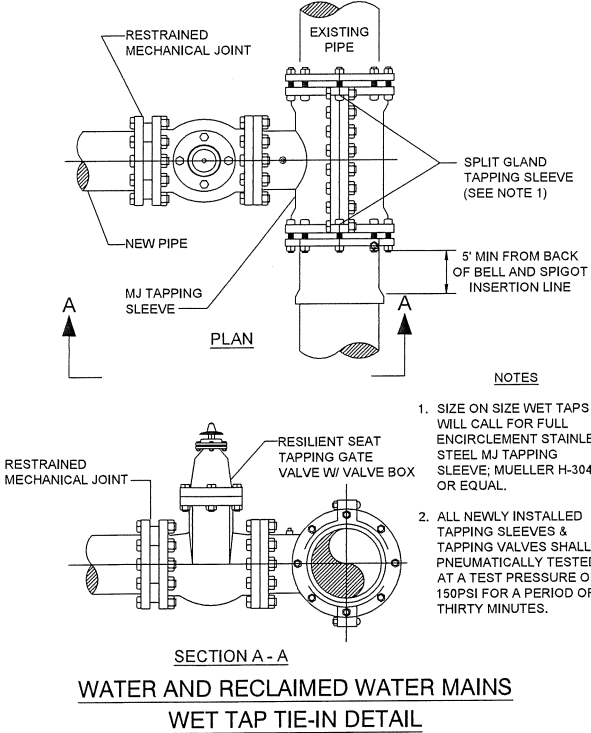
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 402



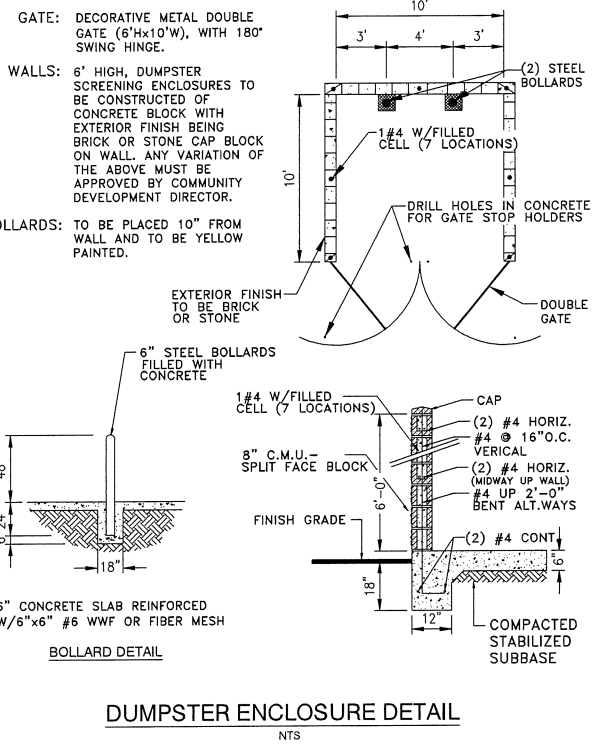
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 403



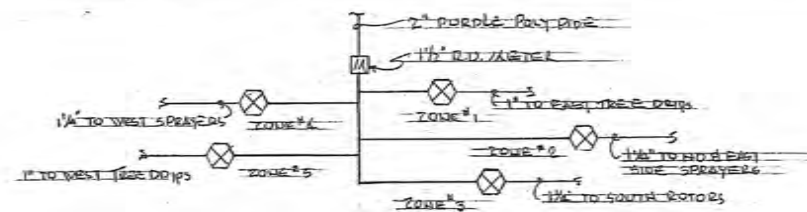
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 405



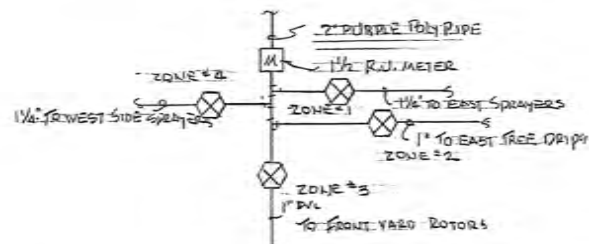
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 406



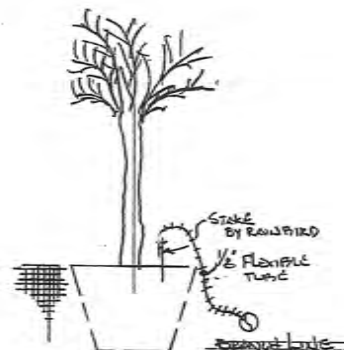
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2016
FIG. 601



IRRIGATION CONTROL VALVE DIAGRAM
SCALE: NONE



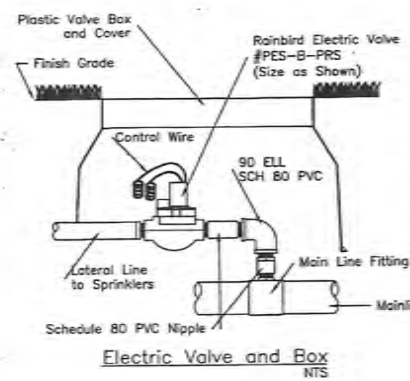
IRRIGATION CONTROL VALVE DIA.
SCALE: NONE



TREE IRRIGATION DETAIL

TREE IRRIGATION TO BE REMOVED WHEN TREES CAN SUSTAIN THEIR OWN GROWTH THROUGH NATURAL RAINFALL

IRRIGATION FILTER
LOCATE FILTER IN MECH/ELECTRICAL OR EAC CONDENSER UNIT

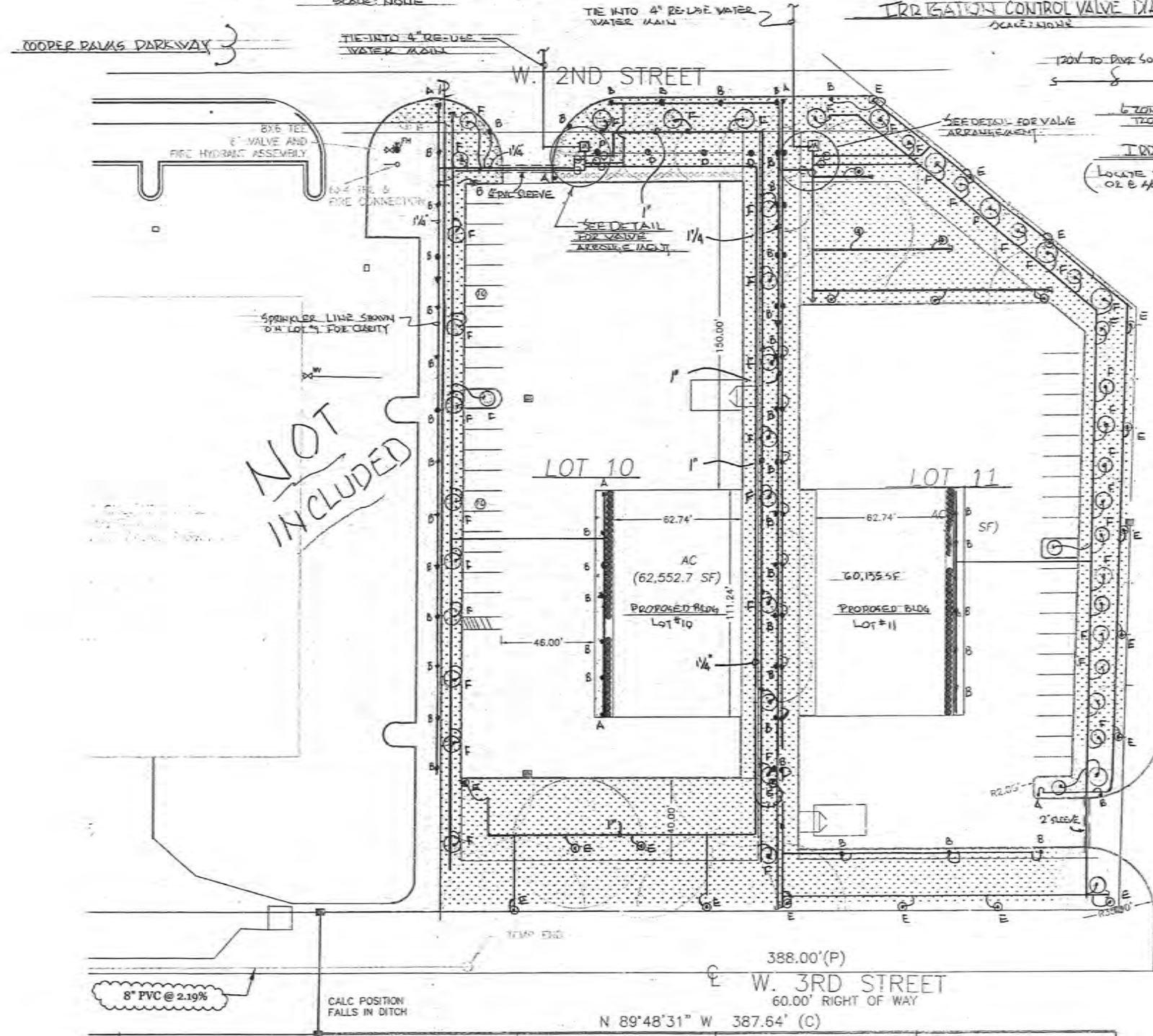


- LEGEND:
- A - 1/2" SPRAY HEAD, 6" POP-UP
 - B - 1/2" SPRAY HEAD, 6" POP-UP
 - C - 1/2" SPRAY HEAD, 6" POP-UP
 - D - FULL SPRAY HEAD, 6" POP-UP
 - E - ROTOR TYPE, ADJUSTABLE, 35' RANGE
 - F - TREE BUBBLER, 1/8" TUBE, DIRECT FED
 - G - SHRUB HEAD, 6" POP-UP
 - X - ELECTRIC (24V) ZONE CONTR VALVE

- NOTES:
- 1) ALL PIPE SHALL BE THE PURPLE REUSE TYPE.
 - 2) ALL VALVE BOXES SHALL HAVE PURPLE LIDS TO INDICATE THE PRESENCE OF RE-USE WATER.
 - 3) ALL EQUIPMENT SHALL BE INSTALLED AS PER ALL LOCAL, COUNTY, STATE, AND FEDERAL CODES. PROVIDE AND INSTALL ALL REQUIRED REUSE SIGNS.
 - 4) REFER TO THE LANDSCAPE PLANS WHEN TRIMMING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
 - 5) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
 - 6) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
 - 7) NO RISERS SHALL BE USED ON THIS SITE.
 - 8) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS ON INSIDE A 50' 40' SLEEVE.
 - 9) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD.
 - 10) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
 - 11) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEFECTS IN EQUIPMENT AND WORKMANSHIP. (OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS)
 - 12) 48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 (FLORIDA STATE ONE CALL CENTER)
 - 13) PROVIDE RAIN SENSOR MTD ON BLDG WHERE AS RAIN FALL CAN BE DETECTED WITHOUT INTERFERENCE FROM OVER HANGS, ETC.
 - 14) ROUTE CONTROLLER WIRING IN SAME TRENCH W/ WATER LINES.
 - 15) ALL IRRIGATION LINES TO BE 1" UNLESS OTHERWISE NOTED.
 - 16) FIELD ROUTE ALL IRRIGATION LINES ACCORDINGLY UNLESS OTHERWISE NOTED.
 - 17) ALL TREES, SHRUBS AND SOD ARE PROVIDED W/ IRRIGATION (WATER).

I CERTIFY THAT THE LANDSCAPE & IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE W/ C.D.A. ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

MICHAEL A. COOPER, DEVELOPER



IRRIGATION PLAN
SCALE: NONE

IRRIGATION NOTE:

ALL TREES, SHRUBS, AND SOD TO BE IRRIGATED IN ACCORDANCE WITH CITY OF APOPKA STANDARDS & ORDINANCE, REF. 2069, ADOPTED MAY 21, 2008.

Plan Notes

COOPER PALMS COMMERCE PARK
COOPER PALMS PARKWAY
APOPKA FLORIDA 32703

COOPER CONSTRUCTION CO INC
564 COOPER COMMERCE DR
APOPKA FL 32703

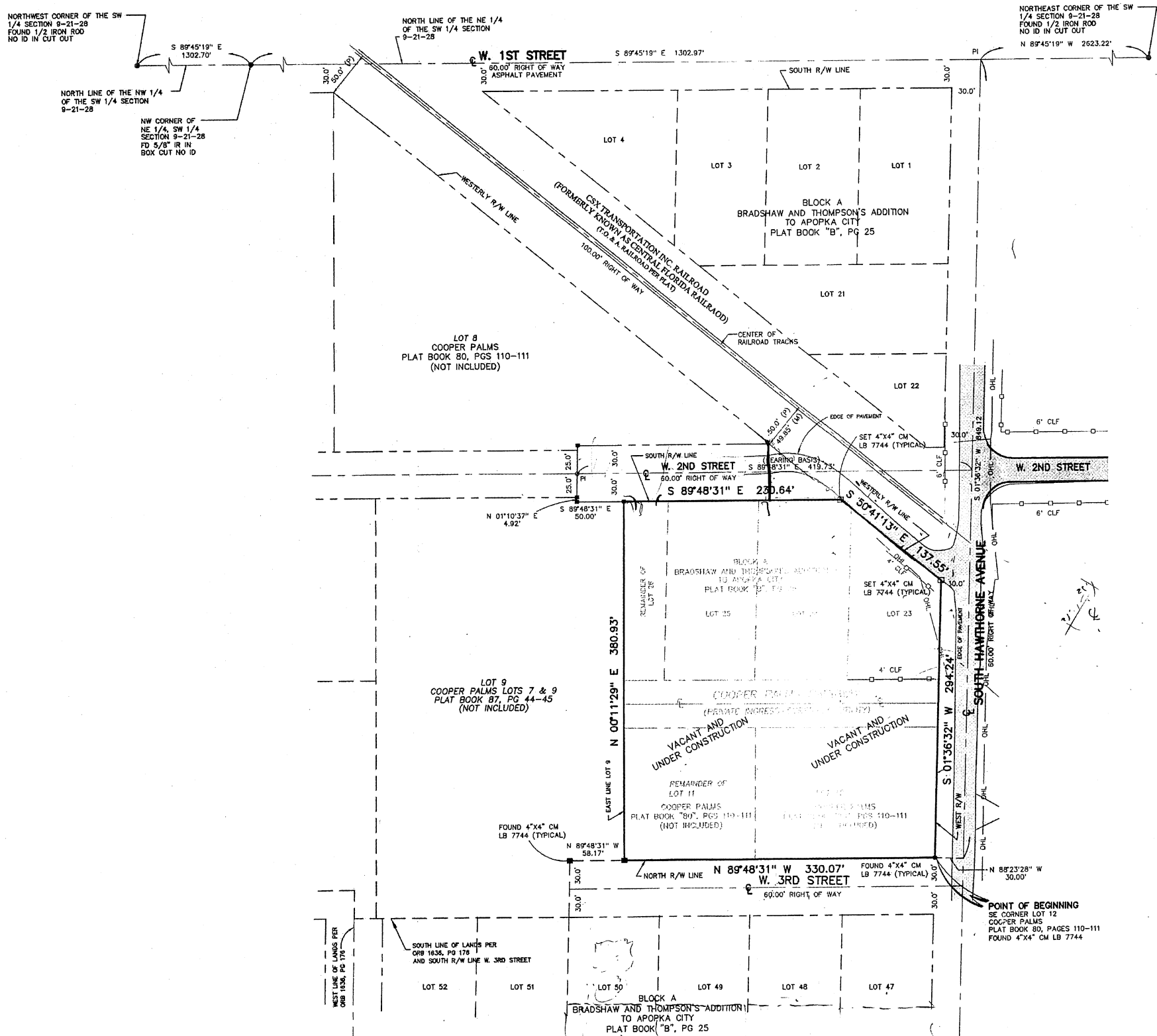
No.	Revision/Issue	Date

ALI TEHRANI P.E.
621 SHERWOOD DR
Altamonte Springs, Florida 32751
(407)-948-0811
Florida PE #48235

Project Name and Address
COOPER PALMS
COMMERCE PARK
APOPKA, FL

Project	Sheet
Date	I-1
Scale	AS SHOWN

BOUNDARY SURVEY
PROPOSED COOPER PALMS LOTS 10 & 11



DESCRIPTION (PER SURVEYOR):
Lot 12 and a portion of Lot 11 Cooper Palms as recorded in Plat Book 80, pages 110 and 11 of the Public Records of Orange County, Florida and Lots 23 through 25, and a portion of Lot 26 Block "A" Bradshaw and Thompson's Addition to Apopka City as recorded in Plat Book "B", Page 25 of the Public Records of Orange County, Florida being more particularly described as follows:
Begin at the Southeast corner of Lot 12 Cooper Palms as recorded in Plat Book 80, pages 110 and 111 of the Public Records of Orange County, Florida, said point lying at the Point of Intersection of the west right-of-way line of South Hawthorne Avenue (a 60.00 foot right-of-way) and the North right-of-way line of W. 3rd Street (a 60.00 foot right-of-way); thence run N 89°48'31" W along the North Right-of-Way line of W. 3rd Street for a distance of 330.07 feet to the East line of Lot 9 Cooper Palm's Lots 7 and 8 as recorded in Plat Book 87, Pages 44 through 45 of the Public Records of Orange County, Florida; thence run N 00°11'29" E along said right-of-way line for a distance of 380.93 feet to a point on the South Right-of-Way line of W. 2nd Street; thence run S 89°48'31" E along said South Right-of-Way line for a distance of 230.64 feet to a point on the Westerly Right-of-Way line of CSX Transportation Inc. Railroad (formerly known as Central Florida Railroad); thence leaving said South Right-of-Way line run S 50°41'13" E along said Westerly Right-of-Way line for a distance of 137.55 feet to a point on the West Right-of-Way line of South Hawthorne Avenue; thence leaving said Westerly Right-of-Way run S 01°36'32" E along said West Right-of-Way line for a distance of 294.24 feet to the Point of Beginning.
Containing 2.819 acres, more or less.

- SURVEYORS NOTES:**
- Not valid without the signature and the original raised seal of a Florida licensed Surveyor and Mapper.
 - Adjacent properties have not been abstracted for title matters and are subject to easements and matters of record.
 - Bearings shown hereon are based on the centerline of W. 2nd Street as being S 89°48'31" E, an assumed datum.
 - This is not an AIA/Asm Land Title Survey.
 - This site is presently under construction.
 - No interior improvements located per client agreement. Additionally, no underground utilities, foundations, installations or improvements have been located by this firm as per client agreement.
 - No zoning classification, setbacks or requirements have been provided by the title company to the surveyor or has been researched by the surveyor or this firm.
 - Total area surveyed is 2.819 acres or 122808.11 square feet more or less.
 - Ownership of fences along property lines is not to be determined by this survey.
 - The state of Florida may own or claim ownership of those lands lying below the "ordinary high water line" or within any wetland limits.

ABBREVIATIONS		SYMBOLS	
BFP = BACKFLOW PREVENTOR	PG = PAGE	SYMBOLS SHOWN ARE NOT TO SCALE	
CM = CONCRETE MONUMENT	PCP = PERMANENT CONTROL POINT	○ SET 5/8" IRON ROD/CAP, LB #7744	
CLF = CHAIN LINK FENCE	POL = POINT ON LINE	● IRON ROD AND CAP FOUND	
CONC = CONCRETE	PRM = PERMANENT REFERENCE MONUMENT	(NUMBER AS INDICATED)	
C = CENTERLINE		4"x4" CONCRETE MONUMENT FOUND	
(D) = DEED	(P) = PLAT	(LB#7744 UNLESS NOTED OTHERWISE)	
EP = EDGE OF PAVEMENT	PLB = PLAT BOOK		
ELEV = ELEVATION	R/W = RIGHT-OF-WAY		
FD = FOUND	REC = RECOVERED		
IR = IRON ROD	TBM = TEMPORARY SITE BENCHMARK		
IP = IRON PIPE	TRF = TRUSTEES OF THE INTERNAL IMPROVEMENT FUND		
LB = LOCKED BUSINESS	W = WATER METER		
NOVD = NATIONAL GEODETIC DATUM	CLF = CHAIN LINK FENCE		
(U) = MEASURED DATUM			
ORL = OVERHEAD LINE			
ORR = OFFICIAL RECORD BOOK			
SECTION 9-21-28 - SECTION 8 TOWNSHIP 21 SOUTH RANGE 28 EAST			

I hereby affirm that this survey represented hereon is true and correct to the best of my knowledge and belief. It has been prepared in accordance with the Standards of Practice set in Chapter 5J-17, F.A.C., pursuant to Chapters 177 and 472, Florida Statutes and unless it bears the signature and the original raised seal of a Florida Licensed Surveyor and Mapper, this drawing, sketch, plat or map is for informational purposes only and is not valid.

Ralph A. Nieto
RALPH A. NIETO P.S.M. 6025 PRINT DATE:

PREPARED FOR:
PROPERTY INDUSTRIAL ENTER 124 S LLC.
LOTS 11 AND 12 COOPER PALMS P.B. 80 PGS 110
LOTS 23-25 BRADSHAW AND THOMPSON'S ADDITION, APOPKA, FL.

FIELD BY:	DLW	DATE:	10/20/16
DRAWN BY:	AC	ORDER NO.:	NW16-311
SCALE:	1"=60'	SHEET	1 OF 1
NO.	DATE	REVISIONS	BY

Nieto-Whittaker Surveying LLC
562 W. Springtree Way, Lake Mary, FL 32746
PH: (407) 484-0103 Fax: (407) 302-6776
LB No. 7744

COOPER PALMS LOTS 10 & 11

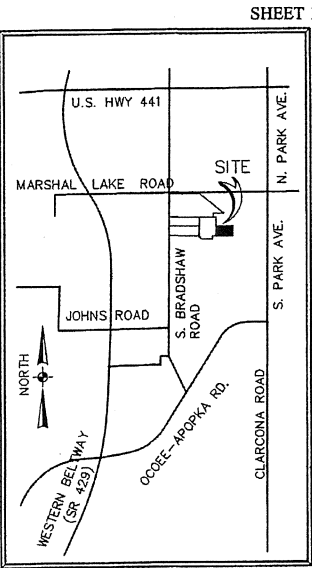
A REPLAT OF LOT 12 & A PORTION OF LOT 11 COOPER PALMS AS RECORDED IN PLAT BOOK 80, PAGES 110 AND 111 AND A REPLAT OF LOTS 23, 24 & 25 AND A PORTION OF LOT 26 BLOCK "A" BRADSHAW AND THOMPSON'S ADDITION TO APOPKA CITY, PLAT BOOK "B", PAGE 25 LYING IN SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

DESCRIPTION (PER SURVEYOR):

Lot 12 and a portion of Lot 11 Cooper Palms as recorded in Plat Book 80, pages 110 and 11 of the Public Records of Orange County, Florida and Lots 23 through 25, and a portion of Lot 26 Block "A" Bradshaw and Thompson's Addition to Apopka City as recorded in Plat Book "B", Page 25 of the Public Records of Orange County, Florida being more particularly described as follows:

Begin at the Southeast corner of Lot 12 Cooper Palms as recorded in Plat Book 80, pages 110 and 111 of the Public Records of Orange County, Florida, said point lying at the Point of Intersection of the west right-of-way line of South Hawthorne Avenue (a 60.00 foot right-of-way) and the North right-of-way line of W. 3rd Street (a 60.00 foot right-of-way); thence run N 89°48'31" W along the North Right-of-Way line of W. 3rd Street for a distance of 330.07 feet to the East line of Lot 9 Cooper Palm's Lots 7 and 8 as recorded in Plat Book 87, Pages 44 through 45 of the Public Records of Orange County, Florida; thence run N 00°11'29" E along said right-of-way line for a distance of 380.93 feet to a point on the South Right-of-Way line of W. 2nd Street; thence run S 89°48'31" E along said South Right-of-Way line for a distance of 230.64 feet to a point on the Westerly Right-of-Way line of CSX Transportation Inc. Railroad (formerly known as Central Florida Railroad); thence leaving said South Right-of-Way line run S 50°41'13" E along said Westerly Right-of-Way line for a distance of 137.55 feet to a point on the West Right-of-Way line of South Hawthorne Avenue; thence leaving said Westerly Right-of-Way run S 01°36'32 E along said West Right-of-Way line for a distance of 294.24 feet to the Point of Beginning.

Containing 2.819 acres, more or less.



LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF W. 2ND STREET AS BEING S 89°48'31" E, AN ASSUMED DATUM.
- ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES; THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION. -FS177.091(28)
- ALL DRAINAGE EASEMENTS RESERVED OR NOTED ON THIS PLAT ARE PRIVATE UNLESS NOTED OTHERWISE.
- THE PROPERTY AS DEPICTED HEREON IS HEREBY SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS, AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AT OFFICIAL RECORDS BOOK _____, PAGE _____.
- THE POTABLE WATER, SEWER, RECLAIMED WATER, STORMWATER AND ROADWAY ARE TO BE OWNED, OPERATED AND MAINTAINED BY THE COOPER PALMS PROPERTY OWNERS ASSOCIATION, INC.
- DEVELOPMENT RIGHTS OF THE JURISDICTIONAL WETLAND AREAS SHALL BE DEDICATED TO THE CITY OF APOPKA WITH OWNERSHIP AND MAINTENANCE BY THE COOPER PALMS PROPERTY OWNERS ASSOCIATION, INC.

ABBREVIATIONS

(C) = CALCULATED
CM = CONCRETE MONUMENT
CLF = CHAIN LINK FENCE
CONC = CONCRETE
CL = CENTERLINE
(D) = DEED
EP = EDGE OF PAVEMENT
ELEV = ELEVATION
FND = FOUND
IR = IRON ROD
IP = IRON PIPE
LB = LICENSED BUSINESS
(M) = MEASURED
NO ID = NO IDENTIFICATION
ORB = OFFICIAL RECORD BOOK
(P) = PLAT
PB = PLAT BOOK
PC = POINT OF CURVATURE
PI = POINT OF INTERSECTION
PG = PAGE
PCP = PERMANENT CONTROL POINT
POL = POINT ON LINE
PRM = PERMANENT REFERENCE MONUMENT
PRC = POINT OF REVERSE CURVATURE
PT = POINT OF TANGENCY
RP = RADIUS POINT
R/W = RIGHT-OF-WAY
REC = RECOVERED

SYMBOLS

SYMBOLS SHOWN ARE NOT TO SCALE

- FOUND IRON ROD AND CAP (NUMBER AS INDICATED)
- FOUND 4"x4" CONCRETE MONUMENT (STAMPED "LB 7744" UNLESS NOTED OTHERWISE)
- SET 4"x4" CONCRETE MONUMENT (LB 7744)
- SET NAIL AND DISK STAMPED "LB 7744"

CHANGE IN DIRECTION OR LOT CORNER INDICATED BY "TICK" MARK
SECTION 9-21-28 = SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST

"NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN ON CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY."



Nieto-Whittaker Surveying LLC
562 W. Springtree Way, Lake Mary, FL 32746
PH: (407) 484-0103 FAX: (407) 302-6776
LB No. 7744

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COOPER PALMS LOTS 10 & 11

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That the limited liability corporation named below, being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes therein expressed and dedicates

IN WITNESS WHEREOF, has caused these presents to be signed and attested to by the officers named below and its corporate seal to be fixed hereto on.....

PROPERTY INDUSTRIAL ENTERPRISES LLC.
517 COOPER OAKS COURT
APOPKA, FL. 32703

By.....
MICHAEL R. COOPER, Managing Member

Signed and sealed in the presence of:

PRINTED NAME: PRINTED NAME:

STATE OF.....FLORIDA.....COUNTY OF.....ORANGE.....

THIS IS TO CERTIFY, That on..... before me, an officer duly authorized to take acknowledgements in the State and County aforesaid, personally appeared.....MICHAEL R. COOPER,.....MANAGING MEMBER..... of the above named limited liability corporation incorporated under the laws of the State of.....FLORIDA....., to me known to be the individuals and officers described in and who executed the foregoing Dedication and severally acknowledged the execution thereof to be their free act and deed as such officers thereunto duly authorized; and that the said Dedication is the act and deed of said limited liability corporation.

IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.

NOTARY PUBLIC
PRINTED NAME:
My Commission Expires.....

QUALIFICATION AND STATEMENT OF
SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a licensed and Registered Land Surveyor, does hereby certify that on AUGUST 21, 2015, he completed the survey of the said lands shown in the foregoing plat and said survey was made under his responsible direction and that permanent reference monuments have been placed as required by Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Florida.

Signed: _____ Date: _____
Printed Name: Ralph A. Nieto
PSM #8025
Nieto-Whittaker Surveying, LLC
562 W. Springtree Way, Lake Mary, FL 32746
Licensed Business #7744

CERTIFICATE OF REVIEWING SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed: _____ Date: _____
Printed Name: _____
Registration No. _____

CERTIFICATE OF APPROVAL BY
APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY that on _____ the foregoing plat was approved by:

Signed: _____
printed name:
Chairman

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY that on _____ the foregoing plat was approved

Signed: _____ Attest: _____
Mayor, City of Apopka City Clerk

CERTIFICATE OF APPROVAL BY CITY ENGINEER

THIS IS TO CERTIFY that on _____ the foregoing plat was examined and approved by:

City Engineer: _____ Date: _____

CERTIFICATE OF APPROVAL BY
COUNTY COMPTROLLER

I HEREBY CERTIFY, That the foregoing plat was recorded in the Orange County Records on _____ as File no. _____ County Comptroller in and for Orange County, Florida

By.....D.C.

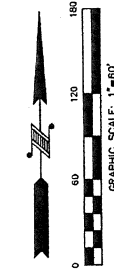
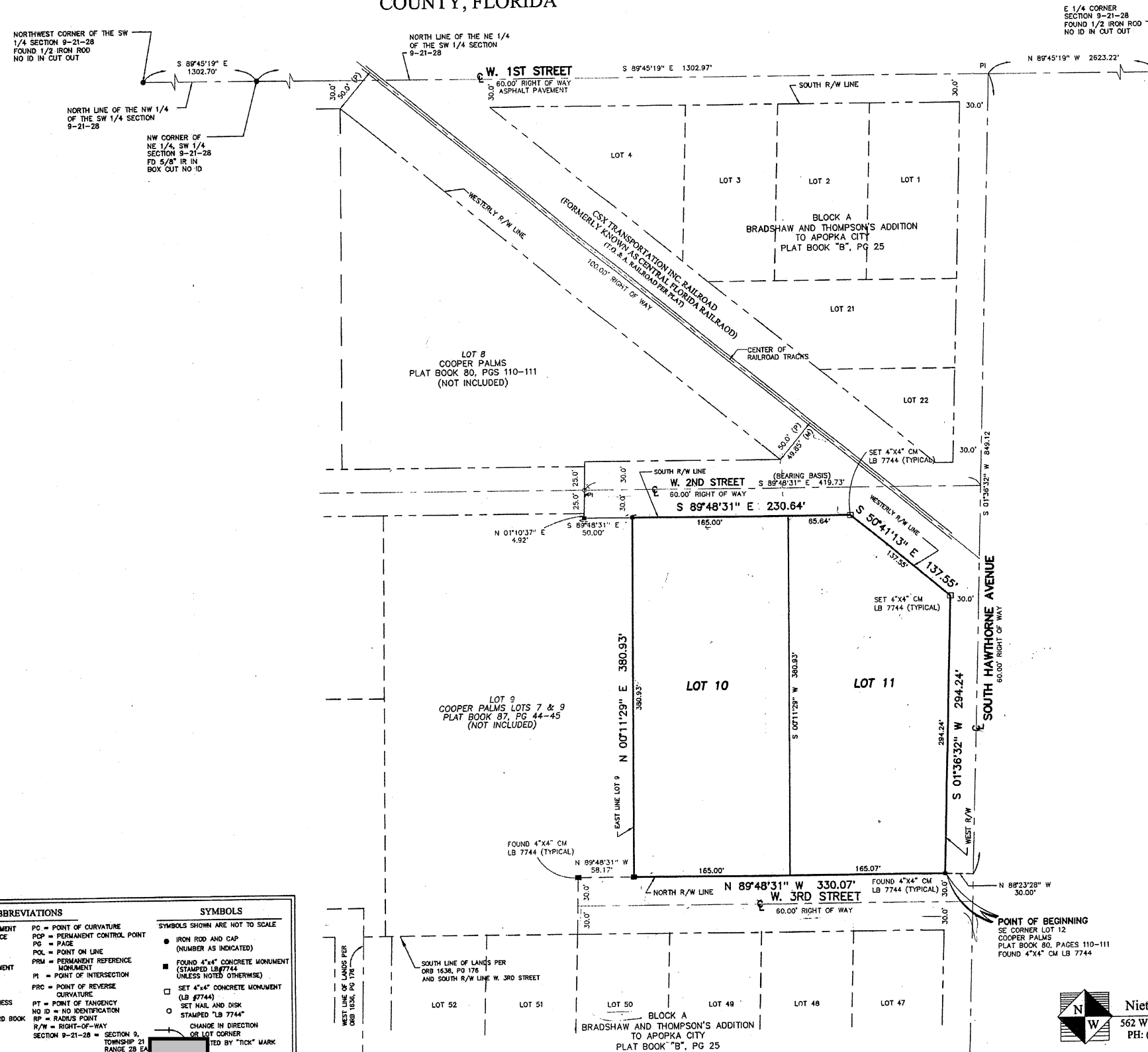
COOPER PALMS LOTS 10 & 11

SHEET 2 OF 2

PLAT
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ABBREVIATIONS		SYMBOLS	
CM = CONCRETE MONUMENT	PC = POINT OF CURVATURE	SYMBOLS SHOWN ARE NOT TO SCALE	
CLF = CHAIN LINK FENCE	PCP = PERMANENT CONTROL POINT	● = IRON ROD AND CAP	(NUMBER AS INDICATED)
CONC = CONCRETE	PG = PAGE	■ = FOUND 4"x4" CONCRETE MONUMENT	(STAMPED LB 7744 UNLESS NOTED OTHERWISE)
C = CENTERLINE	POL = POINT ON LINE	□ = SET 4"x4" CONCRETE MONUMENT	(LB 7744)
(D) = DEED	PRM = PERMANENT REFERENCE MONUMENT	○ = SET NAIL AND DISK	(LB 7744)
EP = EDGE OF PAVEMENT	PI = POINT OF INTERSECTION	○ = STAMPED "LB 7744"	
FD = FOUND	PRC = POINT OF REVERSE CURVATURE	○ = CHANGE IN DIRECTION OR LOT CORNER	NOTED BY "TICK" MARK
IR = IRON ROD	PT = POINT OF TANGENCY		
IP = IRON PIPE	NO ID = NO IDENTIFICATION		
LB = LICENSED BUSINESS	R/W = RIGHT-OF-WAY		
(M) = MEASURED	SECTION 9-21-28		
ORB = OFFICIAL RECORD BOOK	TOWNSHIP 21		
(P) = PLAT	RANGE 28 EA		
PB = PLAT BOOK			

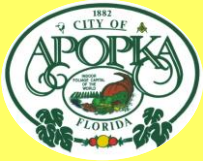
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Nieto-Whittaker Surveying LLC
562 W. Springtree Way, Lake Mary, FL 32746
PH: (407) 484-0103 FAX: (407) 302-6776
LB No. 7744

Backup material for agenda item:

3. PLAT – EMERSON PARK TOWNHOMES - Owned by Pulte Group, c/o Doug Hoffman, and located at 1701 Ocoee Apopka Road. (Parcel ID #: 20-21-28-0000-00-001)



CITY OF APOPKA PLANNING COMMISSION

☐ CONSENT AGENDA
☒ PUBLIC HEARING
☐ SPECIAL REPORTS
☒ OTHER: Plat

MEETING OF: February 14, 2017
FROM: Community Development
EXHIBITS: Vicinity & Aerial Maps
Final Plat

SUBJECT: EMERSON NORTH TOWNHOMES – PLAT

REQUEST: RECOMMEND APPROVAL OF THE EMERSON NORTH TOWNHOMES PLAT

SUMMARY:

OWNER/APPLICANT: Pulte Group c/o Doug Hoffman
ENGINEER: Donald W. McIntosh Associates, Inc. c/o John T. Townsend, P.E.
LOCATION: 1701 Ocoee Apopka Road (South of S.R. 414 and West of Marden Road)
ZONING: Mixed-EC
FUTURE LAND USE: Mixed Use (0-15 du/ac)
EXISTING USE: Planted Pine Trees
PROPOSED USE: Residential Townhomes Community (136) units & future public right-of-way
TRACT SIZE: 21.42 +/- (17.1 acres in residential community; 4.24 acres for East Harmon Road ROW)
DENSITY: 7.95 Units/Acre (136 units/17.1 acres)

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Central Florida Expressway	R-O-W	S.R. 414
East (City)	Mixed Use	R-3	Vacant Land/Planted Pines Trees
South (City)	Mixed Use	Mixed-EC	Emerson Park/Single family houses and townhomes
West (City)	Central Florida Expressway	R-O-W	Vacant Land/Retention Pond

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: City Council approved a Final Development on December 7, 2017. The Planning Commission recommended approval of the Preliminary Development Plan on August 9, 2016. The Plat is consistent with the approved Preliminary and Final Development Plans. After review of the Plat, the Development Review Committee found the Plat to be consistent with the Final Development Plan and Land Development Code.

PROJECT SUMMARY: The Emerson North Townhomes development is a two phase project proposing 136 townhome units with 3.12 +/- acres of active and passive recreation and open space within a 17.1 +/- acre site. Comprising a total of 21.42 acres, the Final Development Plan reserves the northern eighty feet of the northern project line for a future public right-of-way. A developer's agreement establishes a process for the dedication of the right-of-way to the City and addresses fair-share compensation of the right-of-way dedication and road construction. Proposed design plans for the Harmon Road East Extension include aesthetic brick pavers at intersections and a concept landscape plan. Final details of the roadside and median landscaping and materials will be addressed by the end of January 2017.

SCHOOL CAPACITY REPORT: Except for any plat application that addresses only the northern public right-of-way to be dedicated to the City of Apopka, a plat or building permit involving a residential structure shall not be released for recording with the County Comptroller until such time that a concurrency mitigation agreement has been approved by Orange County Public Schools (OCPS).

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning applications for this property. Coordination occurred with County planning staff regarding impact on adjacent parcels. Orange County also receives a copy of the Development Review Committee agenda.

PUBLIC HEARING SCHEDULE:

February 14, 2017 – Planning Commission (5:30 pm)

February 15, 2017 – City Council (6:00 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the Plat to be consistent with the approved Final Development Plan and Land Development Code, recommending approval of the Emerson North Townhomes Plat.

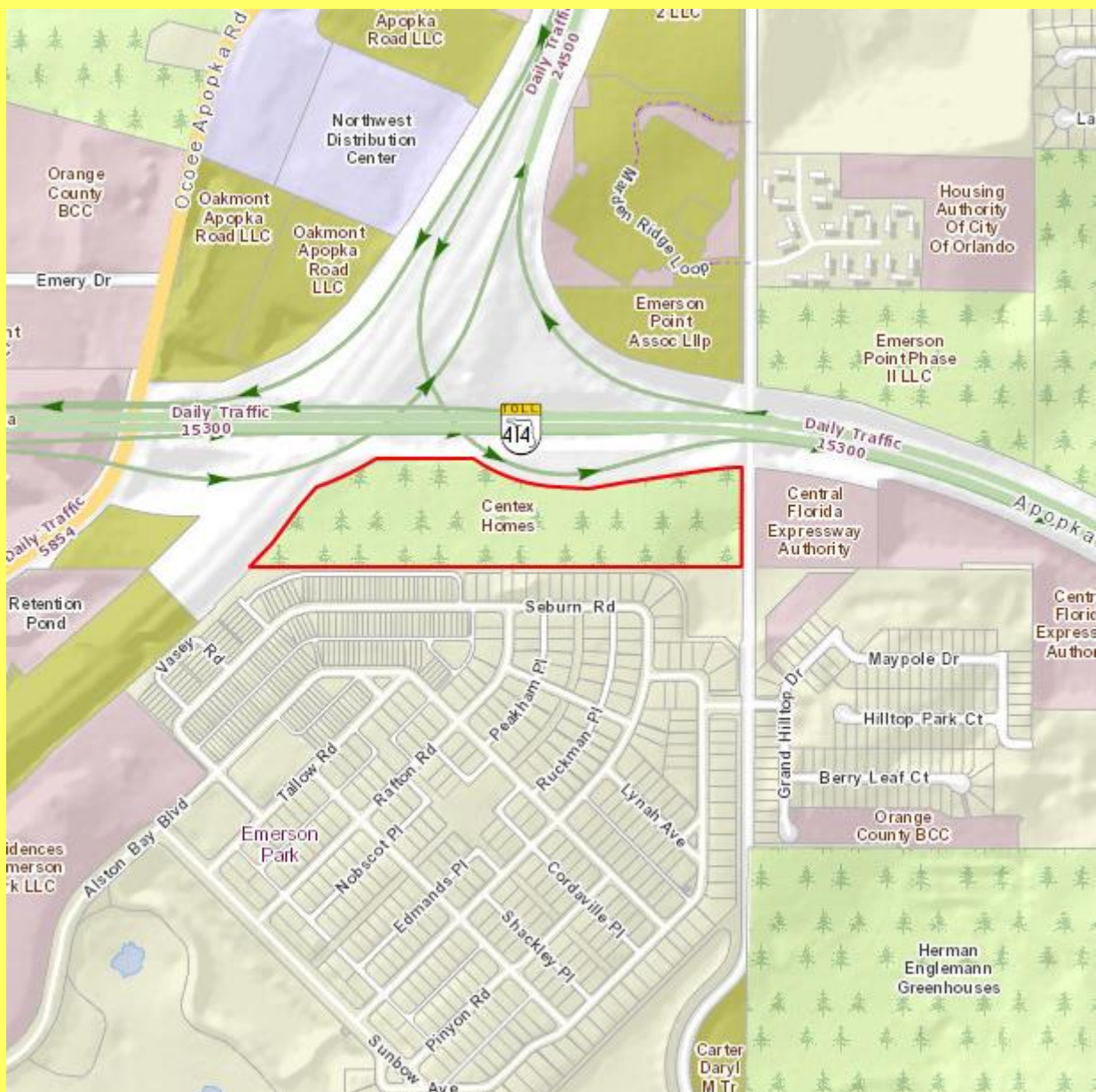
Planning Commission: Find the Emerson North Townhomes Plat consistent with the Land Development Code and recommend approval of the Plat subject to the findings of the staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



EMERSON NORTH TOWNHOMES
21.42 +/- Acres (17.1 acres residential\4.24 future R.O.W)
Proposed Number of Units: 136
Parcel ID#: 20-21-28-0000-00-001

VICINITY MAP





AERIAL MAP



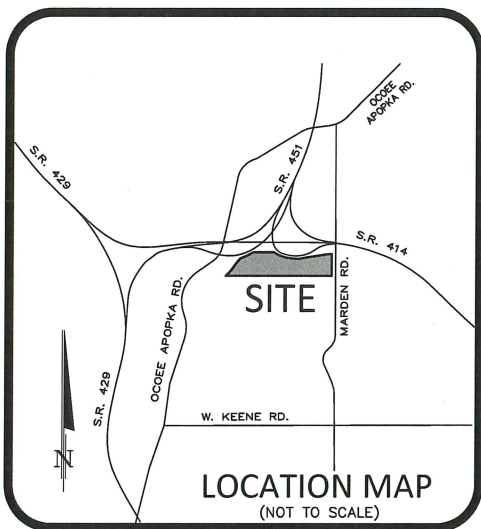
EMERSON NORTH TOWNHOMES

A PORTION OF SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 1 OF 7

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LEGEND
(FOR ALL SHEETS)

Δ	CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	CHORD BEARING
CH	CHORD LENGTH
C	CENTERLINE
C#	CURVE NUMBER (SEE TABLE)
L#	LINE NUMBER (SEE TABLE)
#	NUMBER
CCR	CERTIFIED CORNER RECORD
CLF	CHAIN LINK FENCE
CM	CONCRETE MONUMENT
C.R.	COUNTY ROAD
DB	DEED BOOK
DE	DRAINAGE EASEMENT
DAE	DRAINAGE AND ACCESS EASEMENT
D&UE	DRAINAGE AND UTILITY EASEMENT
FND	FOUND
IP	IRON PIPE
IRC	IRON ROD AND CAP
LB	LICENSED BUSINESS
LE	LANDSCAPE EASEMENT
LS	LICENSED SURVEYOR
NO ID	NO IDENTIFICATION
NO	NUMBER
N&D	NAIL AND DISK
NT	NON-TANGENT
(NR)	NON-RADIAL
NTS	NOT TO SCALE
ORB	OFFICIAL RECORD BOOK
PB	PLAT BOOK
PC	POINT OF CURVATURE
P-C	POINT OF CUSP
PCC	POINT OF COMPOUND CURVATURE
P.D.	PLANNED DEVELOPMENT
PDE	PRIVATE DRAINAGE EASEMENT
PG	PAGE
POS	PAGES
POL	POINT ON LINE
PRC	POINT OF REVERSE CURVATURE
PRM	PERMANENT REFERENCE MONUMENT
PT	POINT OF TANGENCY
(R)	RADIAL
R/W	RIGHT-OF-WAY
SEC 20-21-28	SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
SMA	STORMWATER MANAGEMENT AREA
S.R.	STATE ROAD
UE	UTILITY EASEMENT
WE	WALL EASEMENT
	DENOTES PERMANENT REFERENCE CONTROL POINT (SET NAIL AND DISK STAMPED "PCP LB68" PER CHAPTER 177, FLORIDA STATUTES. (UNLESS OTHERWISE NOTED))
	DENOTES PERMANENT REFERENCE MONUMENT (SET 4"x4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB68" PER CHAPTER 177, FLORIDA STATUTES. (UNLESS OTHERWISE NOTED))
---	SECTION LINE
- - - -	RIGHT-OF-WAY LINE
- . - .	LIMITED ACCESS RIGHT-OF-WAY LINE
- - - -	SHEET MATCH LINE

DESCRIPTION:

That part of Section 20, Township 21 South, Range 28 East, Orange County, Florida, being described as follows:

BEGIN at the Northeast corner of EMERSON PARK, according to the plat thereof as recorded in Plat Book 68, Pages 1 through 17 of the Public Records of Orange County, Florida; thence S89°59'58"W, along the North line of said EMERSON PARK, 2304.25 feet to the Northwest corner of said EMERSON PARK and the Easterly limited access Right-of-Way line of State Road 451, according to the Orlando-Orange County Expressway Authority Right-of-Way Map of Maitland Boulevard Extension of State Road 429/414 Systems Interchange, prepared by URS Corporation dated 12/15/10, and a point on a non-tangent curve concave Northwesterly, having a radius of 7809.44 feet and a chord bearing of N43°17'35"E; thence run along said Easterly limited access right-of-way line of State Road 451 the following courses: Northeasterly, along the arc of said curve through a central angle of 01°10'58", for a distance of 161.22 feet to a non-tangent line; thence N36°21'34"E, 205.20 feet to a point on a non-tangent curve concave Northwesterly, having a radius of 7789.44 feet and a chord bearing of N40°45'40"E; thence Northeasterly, along the arc of said curve through a central angle of 00°52'54", for a distance of 119.86 feet to the Southerly limited access Right-of-Way of State Road 414, according to aforesaid Orlando-Orange County Expressway Authority Right-of-Way Map of Maitland Boulevard Extension of State Road 429/414 Systems Interchange and a point on non-tangent curve concave Northwesterly, having a radius of 1430.00 feet and a chord bearing of N64°35'56"E; thence run along said Southerly limited access Right-of-Way line the following courses: Northeasterly, along the arc of said curve through a central angle of 12°34'34" for a distance of 313.88 feet to a non-tangent line; thence S89°55'15"E, 453.46 feet to a point on a non-tangent curve concave Northerly, having a radius of 749.49 feet and a chord bearing of S71°21'09"E; thence Easterly, along the arc of said curve through a central angle of 31°42'43" for a distance of 414.83 feet to a non-tangent line; thence S86°44'15"E, 152.54 feet; thence N80°21'42"E, 174.31 feet; thence N81°41'03"E, 401.05 feet to a point on a non-tangent curve concave Southerly having a radius of 1223.14 feet and a chord bearing of N85°11'53"E; thence Easterly along the arc of said curve through a central angle of 07°01'56" for a distance of 150.12 feet to the West line of lands described in Document Number 20160580138 of said Public Records; thence departing said Southerly limited access Right-of-Way line, run along said West line the following seven (7) courses and distances: S03°56'49"W, 42.30 feet to the point of curvature of a curve concave Westerly having a radius of 60.00 feet and a chord bearing of S19°52'47"W; thence Southerly along the arc of said curve through a central angle of 31°51'56" for a distance of 33.37 feet to the point of tangency; thence S35°48'45"W, 30.76 feet; to the point of curvature of a curve concave Easterly having a radius of 77.00 feet and a chord bearing of S03°00'32"W; thence Southerly along the arc of said curve through a central angle of 65°36'26" for a distance of 88.17 feet to the point of tangency; thence S29°47'41"E, 36.62 feet to the point of curvature of a curve concave Southwesterly having a radius of 65.00 feet and a chord bearing of S23°43'10"E; thence Southeasterly along the arc of said curve through a central angle of 12°09'01" for a distance of 13.78 feet to the point of compound curvature of a curve concave Westerly having a radius of 285.00 feet and a chord bearing of S11°12'22"E; thence Southerly along the arc of said curve through a central angle of 12°52'36" for a distance of 64.05 feet to a non-tangent line and the West Right-of-way line of Marden Road, as described in Deed Book 543, Page 3 of said Public Records, thence S00°15'48"W, along said West Right-of-way line, 178.70 feet to the POINT OF BEGINNING.

Containing 21.289 acres more or less.

NOTES:

- Bearings based on the East line of the Northeast 1/4 of Section 20, Township 21 South, Range 28 East, as being N00°15'48"E (an assumed meridian).
- All lines intersecting curves are non radial unless noted as (R) = Radial.
- The land described in the foregoing caption is subject to the covenants, conditions and restrictions set forth in that certain Community Declaration for Emerson North Townhomes, Document # _____ recorded among the Public Records of Orange County, Florida, as amended or supplemented (the "Declaration").
- Per Chapter 177.091 (28) Florida Statutes: All platted utility easements shall provide that such easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. Such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- Tract A (Open Space) constitutes Common Area and shall be conveyed to, owned and maintained by the Emerson North Townhomes Homeowners Association, Inc.
- Tract B and Tract C (Stormwater Management Area) constitutes Common Area and shall be conveyed to, owned and maintained by the Emerson North Townhomes Homeowners Association, Inc. Tract B and Tract C are subject to a perpetual non-exclusive Drainage Easement in favor of the City of Apopka, over the entire tract.
- Tract D and Tract E (Recreational, Open Space and Wall) constitutes Common Area and shall be conveyed to, owned and maintained by the Emerson North Townhomes Homeowners Association, Inc.
- Tract F (Signage) is dedicated to the City of Apopka by this plat. Tract F will be maintained by the Emerson North Townhomes Homeowners Association, Inc. until such time as a sign is constructed in Tract F by the City of Apopka.
- Tract G (Right-of-Way) is dedicated to the City of Apopka by this plat.
- Tract H (Recreational and Open Space) constitutes Common Area and shall be conveyed to, owned and maintained by the Emerson North Townhomes Homeowners Association, Inc.
- TRACT I (Private Roadway) shall be conveyed to, owned and maintained by the Emerson North Townhomes Homeowners Association, Inc. TRACT I is subject to a perpetual non-exclusive Drainage and Utility Easement in favor of the City of Apopka, over the entire tract.
- Tract J (Recreational, Open Space, Drainage and Utilities) constitutes Common Area and shall be conveyed to, owned and maintained by the Emerson North Townhomes Homeowners Association, Inc.
- There is a perpetual non-exclusive 10.00' Utility Easement on the front and street side of Lots and Tracts and a 7.50' Drainage and Utility Easement along the rear of all lots and a 5.00' Drainage and Utility Easement along the side of all end lots, as shown hereon.
- All Utility Easements shown hereon are dedicated to the non-exclusive use of the City of Apopka and utility providers for the purpose of constructing, operating, maintaining and replacing their respective facilities servicing the lands described in the foregoing caption.
- All Drainage Easements shown hereon are dedicated to the non-exclusive use of the Emerson North Townhomes Homeowners Association, Inc. and the City of Apopka and shall be maintained in accordance with the terms and conditions of the Declaration. Drainage Easements dedicated to the City of Apopka are only for emergency access and maintenance purposes in the event inadequate maintenance of the stormwater drainage system servicing the lands describe in the foregoing caption creates a hazard to the public health, safety and general welfare.
- There is a perpetual non-exclusive 5.00' Landscape Easement located directly behind and abutting the Utility Easements on the front of all Lots, as shown hereon. As more particularly set forth in the Declaration, this easement is dedicated to the Emerson North Townhomes Homeowners Association, Inc. for the protection and maintenance of street trees by the Association.
- The Wall Easement located within Lots 1 through 8, as shown hereon, is dedicated to the Emerson North Townhomes Homeowners Association, Inc.
- Lands described hereon are subject to the right of any entity holding a City of Apopka franchise to access the neighborhood to provide services herein and utilize the streets and easements for their respective purposes.
- There are 136 lots and 10 tracts in this subdivision.

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

EMERSON NORTH TOWNHOMES
DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That the general partnership named below, being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes herein expressed and dedicates Tract G (Right-of-Way) and Tract F (Signage) to the City of Apopka. Recording of this plat shall act as conveyance to the City of Apopka and no further instrument shall be necessary to vest fee simple title or such rights to the City of Apopka.

In witness whereof, the undersigned has caused these presents to be signed and acknowledged by the officer named below on date:

CENTEX HOMES, a Nevada general partnership

By: CENTEX REAL ESTATE CORPORATION, A Nevada corporation, its Managing General Partner

By: _____

Print Name: _____

Print Title: _____

Signed, sealed and delivered in the presence of:

signature_____
printed name_____
signature_____
printed nameSTATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this _____ day of _____, 2017, by _____ as _____ of Centex Real Estate Corporation, a Nevada corporation, as Managing General Partner of Centex Homes, a Nevada general partnership, on behalf of the general partnership. He/She is _____ personally known to me or _____ produced _____ as identification, and did not take an oath. In witness whereof, I have hereunto set my hand and seal on the above date.

NOTARY PUBLIC

My commission expires: _____
Commission #: _____

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a licensed and registered land surveyor, does hereby certify that this plat was prepared under my direction and supervision and that this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said said land is located in the City of Apopka, Florida.

By: _____ Date: _____
Rocky L. Carson
Florida Registered Surveyor and Mapper
Certificate No. 4285DONALD W. McINTOSH ASSOCIATES, INC.
Certificate of Authorization Number LB 68
2200 Park Avenue North, Winter Park, FL 32789

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY, That on _____ the foregoing plat was approved by the Apopka Planning Commission of the City of Apopka.

Chairman: _____ Date: _____

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, That on _____, the City Council of the City of Apopka approved the foregoing plat.

Attest:

Joe Kilsheimer, Mayor City Clerk

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved: _____ Date: _____
City Engineer: R. Jay Davoli

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, That the foregoing plat was recorded in the Orange County Official Records on _____, as File No. _____ County Comptroller in and for Orange County, Florida

By: _____
CERTIFICATE OF REVIEW BY CITY SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to chapter 177 Part I of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed: _____ Date: _____
PRINTED NAME: Ralph A. Nieto, PSM
Nieto, Whittaker Surveying, LLC
Registration No. 6025

PREPARED BY:
 DONALD W. McINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) _____
CERTIFICATE OF AUTHORIZATION NUMBER LB68

132

Printed: Sat 28-Jan-2017 - 10:25AM
F:\Proj2015\15051\Sdwg\NAVD88\plat\EMERSON PARK TOWNHOMES PLAT.dwg

Printed: Sat 28-Jan-2017 - 10:25AM
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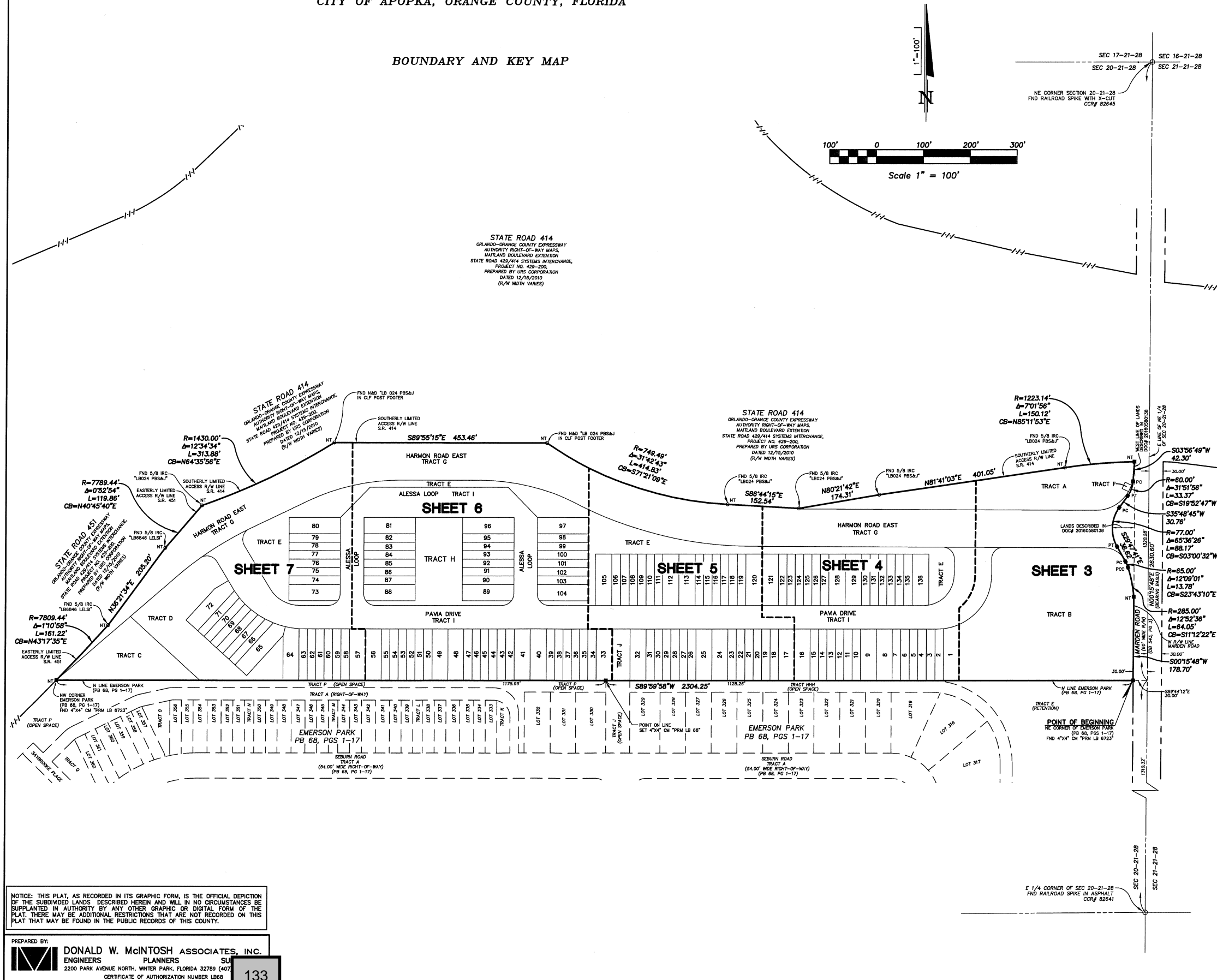
EMERSON NORTH TOWNHOMES
A PORTION OF SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 2 OF 7

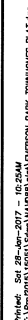
PLAT
BOOK

PAGE

BOUNDARY AND KEY MAP



PAGE



PAGE

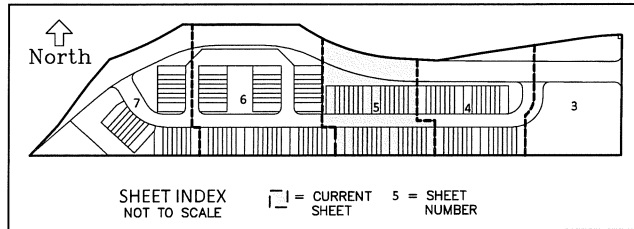


EMERSON NORTH TOWNHOMES
A PORTION OF SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 5 OF 7

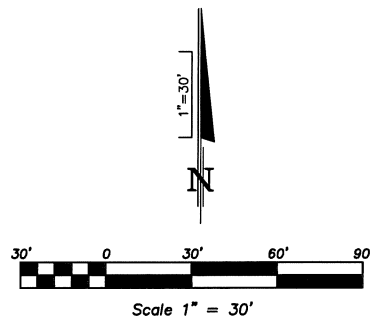
PLAT
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PAGE

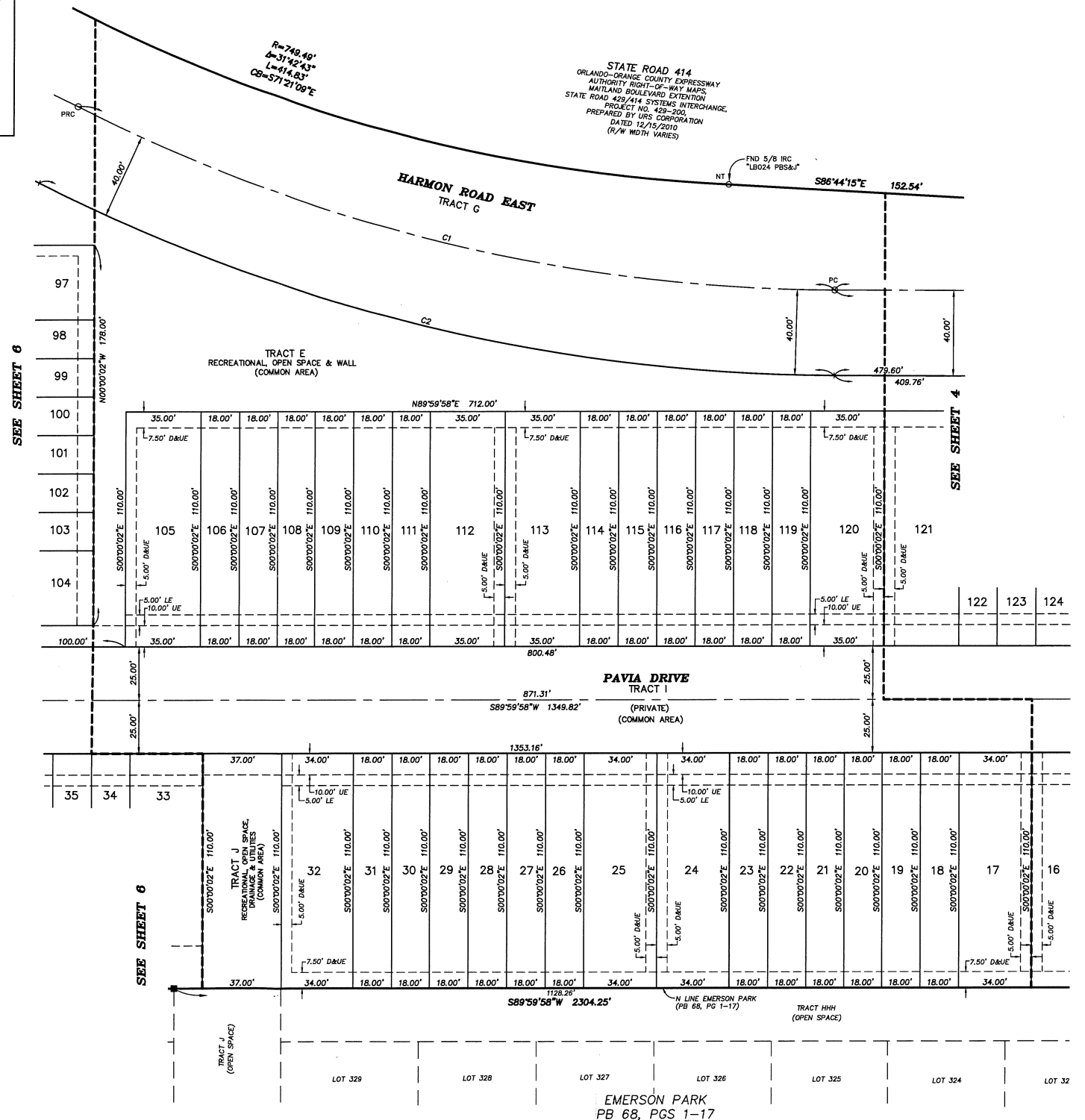


SHEET INDEX
NOT TO SCALE

1 = CURRENT SHEET
5 = SHEET NUMBER



CURVE TABLE					
NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C1	789.49'	26°44'39"	368.51'	365.18'	S76°21'50"E
C2	829.49'	26°44'39"	387.18'	383.68'	S76°21'50"E

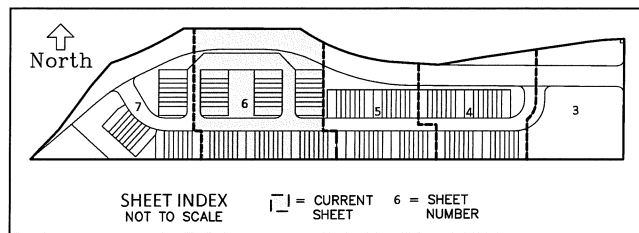


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PREPARED BY:
DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 238-1336
CERTIFICATE OF AUTHORIZATION NUMBER LB68

136

10:25AM



EMERSON NORTH TOWNHOMES

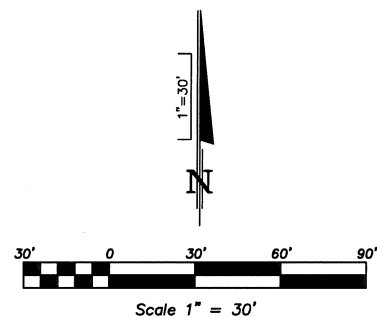
A PORTION OF SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 6 OF 7

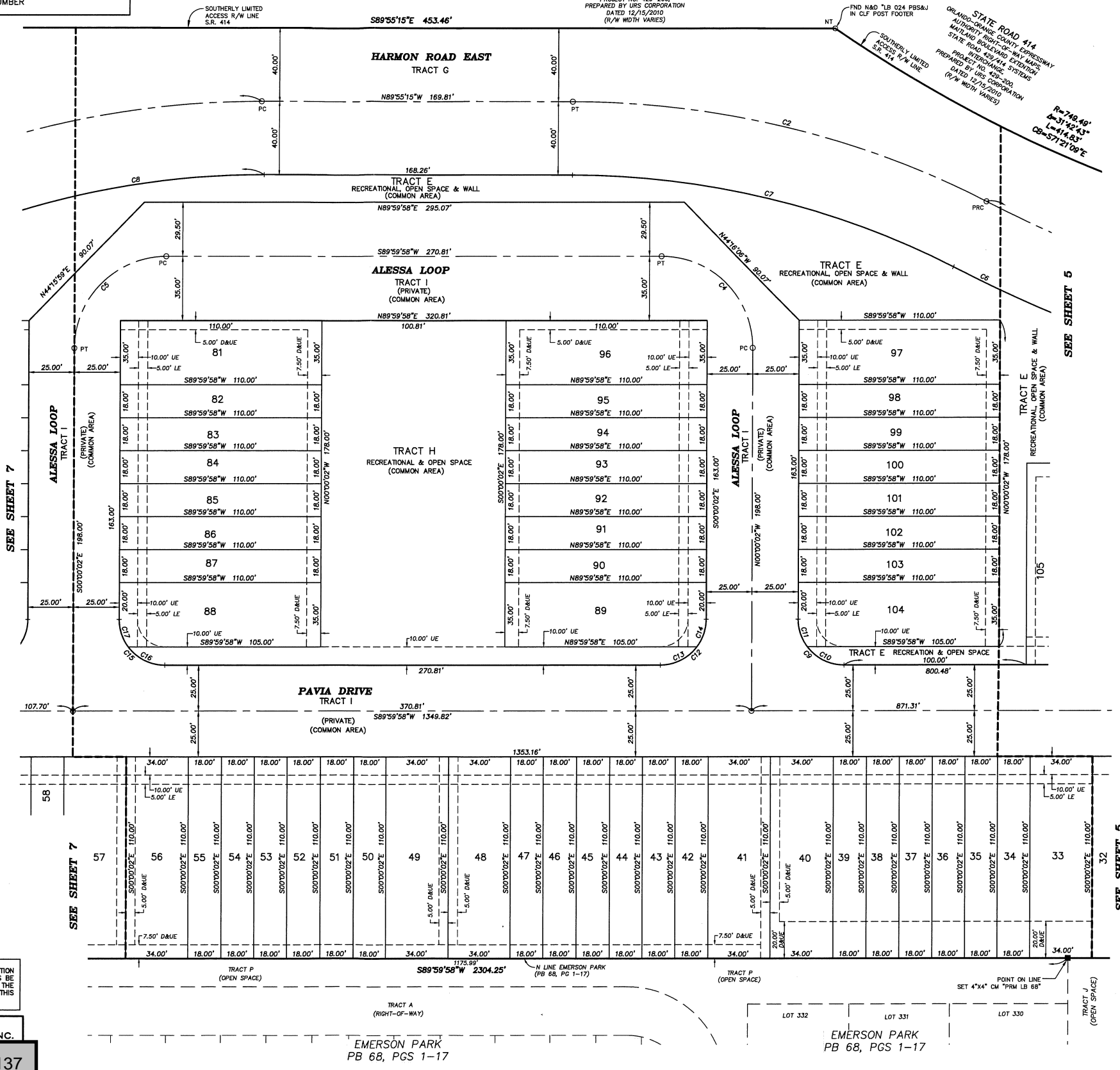
PLAT BOOK PAGE

STATE ROAD 414
ORLANDO-ORANGE COUNTY EXPRESSWAY
AUTHORITY RIGHT-OF-WAY MAPS
MAITLAND BOULEVARD EXTENSION
STATE ROAD 429/414 SYSTEMS
INTERCHANGE
PROJECT NO. 429-200,
PREPARED BY URS CORPORATION
DATED 12/15/2010
(R/W WIDTH VARIES)

STATE ROAD 414
ORLANDO-ORANGE COUNTY EXPRESSWAY
AUTHORITY RIGHT-OF-WAY MAPS
MAITLAND BOULEVARD EXTENSION
STATE ROAD 429/414 SYSTEMS
INTERCHANGE
PROJECT NO. 429-200,
PREPARED BY URS CORPORATION
DATED 12/15/2010
(R/W WIDTH VARIES)



CURVE TABLE					
NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C2	500.00'	26°55'44"	235.00'	232.84'	N76°27'23"W
C4	50.00'	90°00'00"	78.54'	70.71'	N45°00'02"W
C5	50.00'	90°00'00"	78.54'	70.71'	S44°59'58"W
C6	829.49'	26°44'39"	387.18'	383.68'	S76°21'50"E
C7	460.00'	26°55'44"	216.20'	214.21'	N76°27'23"W
C8	460.00'	25°28'49"	204.57'	202.89'	S77°20'20"W
C9	25.00'	90°00'00"	39.27'	35.36'	S45°00'02"E
C10	25.00'	53°07'48"	23.18'	22.36'	S63°26'08"E
C11	25.00'	36°52'12"	16.09'	15.81'	S18°28'08"E
C12	25.00'	90°00'00"	39.27'	35.36'	N44°59'58"E
C13	25.00'	53°07'48"	23.18'	22.36'	N63°26'03"E
C14	25.00'	36°52'12"	16.09'	15.81'	N18°28'03"E
C15	25.00'	90°00'00"	39.27'	35.36'	S45°00'02"E
C16	25.00'	53°07'48"	23.18'	22.36'	S63°26'08"E
C17	25.00'	36°52'12"	16.09'	15.81'	S18°28'08"E



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PREPARED BY:
DONALD W. McINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407)
CERTIFICATE OF AUTHORIZATION NUMBER LB68

137

EMERSON PARK
PB 68, PGS 1-17

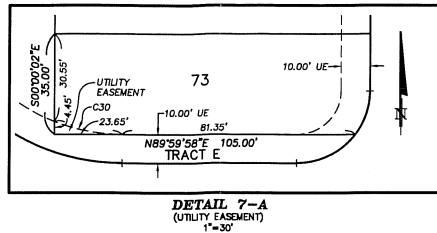
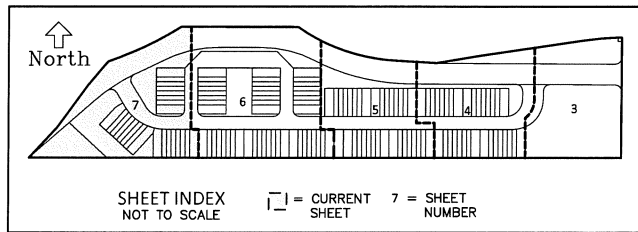
EMERSON PARK
PB 68, PGS 1-17

EMERSON NORTH TOWNHOMES
A PORTION OF SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

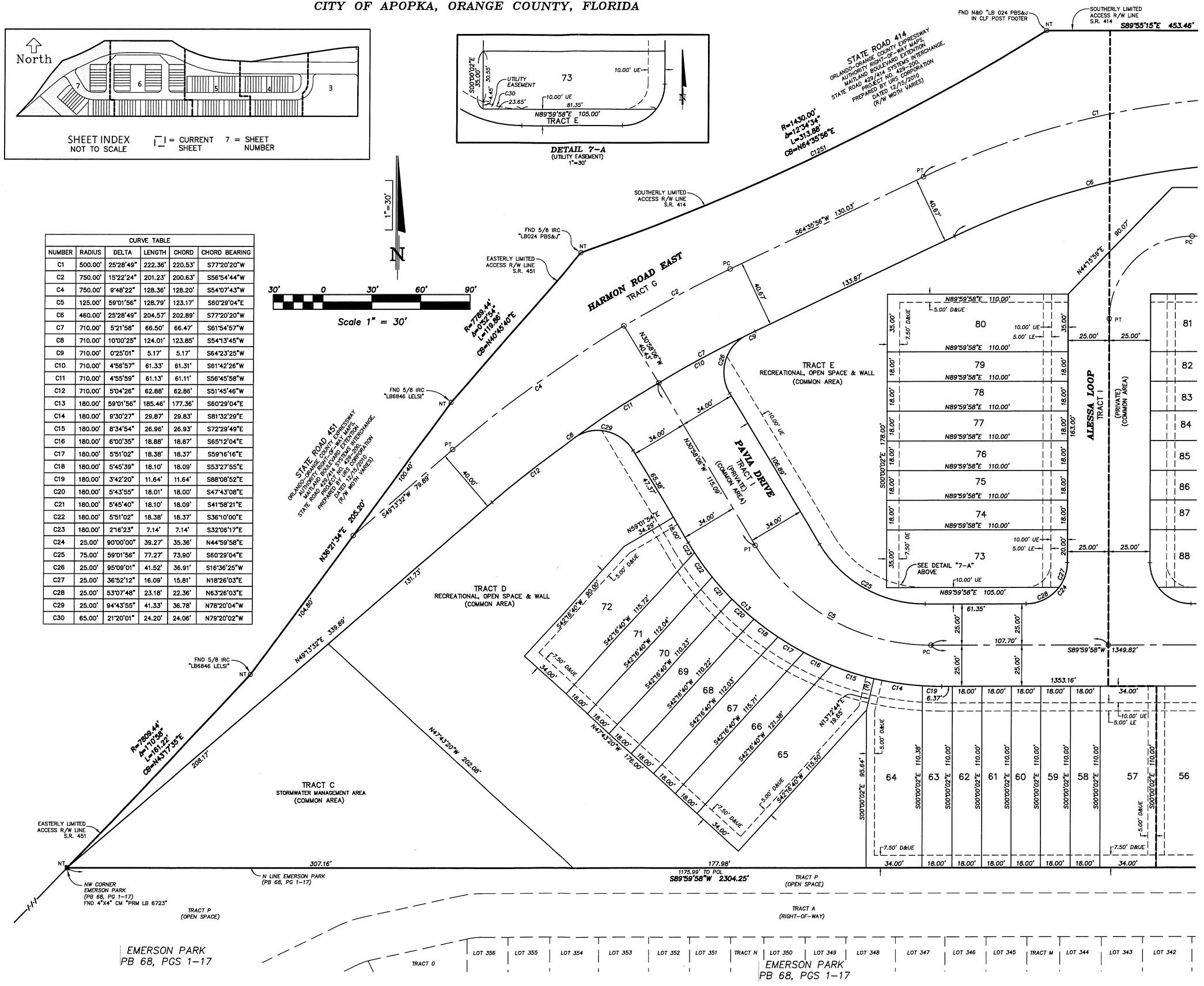
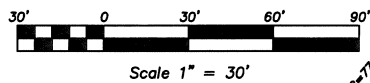
SHEET 7 OF 7

PLAT
BOOK

PAGE



CURVE TABLE				
NUMBER	RADIUS	DELTA	LENGTH	CHORD BEARING
C1	500.00'	25°28'49"	222.36'	S77°20'20"W
C2	750.00'	15°22'24"	201.23'	S56°54'44"W
C4	750.00'	9°48'22"	128.36'	S54°07'43"W
C5	125.00'	59°01'56"	128.79'	S60°29'04"E
C6	460.00'	25°28'49"	204.57'	S77°20'20"W
C7	710.00'	5°21'58"	66.50'	S61°54'57"W
C8	710.00'	10°00'25"	124.01'	S54°13'45"W
C9	710.00'	0°25'01"	5.17'	S64°23'25"W
C10	710.00'	4°56'57"	61.33'	S61°42'26"W
C11	710.00'	4°55'59"	61.13'	S56°45'58"W
C12	710.00'	5°04'26"	62.88'	S51°45'46"W
C13	180.00'	59°01'56"	185.46'	S60°29'04"E
C14	180.00'	9°30'27"	29.87'	S81°32'29"E
C15	180.00'	8°34'54"	26.96'	S72°29'49"E
C16	180.00'	6°00'35"	18.88'	S65°12'04"E
C17	180.00'	5°51'02"	18.38'	S59°16'16"E
C18	180.00'	5°45'39"	18.10'	S53°27'55"E
C19	180.00'	3°42'20"	11.64'	S86°08'52"E
C20	180.00'	5°43'55"	18.01'	S47°43'08"E
C21	180.00'	5°45'40"	18.10'	S41°58'21"E
C22	180.00'	5°51'02"	18.38'	S36°10'00"E
C23	180.00'	2°16'23"	7.14'	S32°06'17"E
C24	25.00'	90°00'00"	39.27'	N44°59'58"E
C25	75.00'	59°01'56"	77.27'	S60°29'04"E
C26	25.00'	95°08'01"	41.52'	S16°36'25"W
C27	25.00'	36°52'12"	16.09'	N18°26'03"E
C28	25.00'	53°07'48"	23.18'	N63°26'03"E
C29	25.00'	94°43'55"	41.33'	N78°20'04"W
C30	65.00'	21°20'01"	24.20'	N79°20'02"W

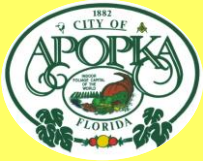


PREPARED BY:
DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407)
CERTIFICATE OF AUTHORIZATION NUMBER LB868

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

Backup material for agenda item:

4. PLAT – ORCHID ESTATES - Owned by JTD Land at Orchid Estates, LLC, and located south of Kelly Park Road, west of Jason Dwelley Parkway. (Parcel ID #s: 18-20-28-0000-00-055; 18-20-28-0000-00-059; 18-20-28-0000-00-117 Portion)



CITY OF APOPKA PLANNING COMMISSION

☐ CONSENT AGENDA
☒ PUBLIC HEARING
☐ SPECIAL REPORTS
☒ OTHER: Plat

MEETING OF: February 14, 2017
FROM: Community Development
EXHIBITS: Vicinity & Aerial Maps
Final Plat

SUBJECT: ORCHID ESTATES - PLAT

REQUEST: RECOMMEND APPROVAL OF THE SANDPIPER ROAD
SUBDIVISION - PLAT

SUMMARY:

OWNER/APPLICANT: JTD Land at Orchid Estates, LLC
ENGINEER: Engineering & Environmental Design, Inc., c/o Larry T. Ray P.E.
LOCATION: South of Kelly Park Road, west of Jason Dwelley Parkway
PARCEL ID NUMBERS: 18-20-28-0000-00-055; 18-20-28-0000-00-059; 18-20-28-0000-00-117 Portion
EXISTING USE: Vacant
FUTURE LAND USE: Residential Very Low Suburban (0-2 du/ac)
CURRENT ZONING: Planned Unit Development
PROPOSED AMENDMENT: 112 single family lots
TRACT SIZE: Combined total Acreage: 60.82 +/- Total Acres

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Low Density Residential	A-2	Grazing
North (County)	Low Density Residential	A-1	SFR
East (County)	Low Density Residential	R-CE	SFR
South (County)	Low Density Residential	R-1AAAA	SFR
South (City)	Res. Very Low Suburban	R-1AAA	SFR
West (County)	Low Density Residential	A-2	SFR

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

PLANNING COMMISSION – FEBRUARY 14, 2017
ORCHID ESTATES SUBDIVISION – PLAT
PAGE 2

ADDITIONAL COMMENTS: The Orchid Estates Plat proposes 49 single family residential units and is consistent with the amended Master Plan\ Preliminary Development Plan approved by City Council on October 5, 2016. The Orchid Estates Subdivision is located within a Planned Unit Development Zoning District and will consist of a minimum 70 feet wide lots with a minimum lot size of 7,500 S.F. and a minimum living area of 1,500 S.F.

Access: Ingress/egress for the development will occur from internal public roads connecting at one location – Sandpiper Road. All subdivision roads are owned and maintained by the homeowners association.

Stormwater: The stormwater management system includes on-site retention areas designed to meet the City's Land Development Code requirements.

School Capacity Report: This residential project is exempt from school concurrency because development applications were submitted to the City prior to the effective date of the school concurrency program. School impact fees will be collected with each building permit application.

Recreation Space: The developer is providing a total of 21.51 acres of passive and active recreational areas which includes a tot lot and common open space areas.

Environmental: The developer must obtain a habitat management plan and gopher tortoise relocation permit application to the Florida Fish and Wildlife Commission prior to commencing any site construction activity.

Orange County Notification: The JPA requires the City to notify the County any public hearing or advisory board consideration of a Subdivision Plan that is adjacent to Unincorporated Orange County. The County has been notified via DRC agenda.

Buffer/Tree Program: A 17.2 acre site (Tract "F") was reserved for open space to preserve trees, and the City exempted the PUD\ Master Plan from the arbor preservation requirements. A ten foot wide

PUBLIC HEARING SCHEDULE:

Planning Commission – February 14, 2017 5:30 p.m.

City Council – February 15, 2017 6:00 p.m.

RECOMMENDED ACTION:

The **Development Review Committee** finds the Orchid Estates Plat to be consistent with the Comprehensive Plan, Land Development Code, and Master Plan\Preliminary Development Plan and recommends the approval of the Orchid Estates- Plat, subject to submittal of a School Concurrency with Orange County School Board.

Recommended Motion: Find the Orchid Estates Plat to be consistent with the Land Development Code and recommend approval of the Orchid Estates Plat.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny, based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

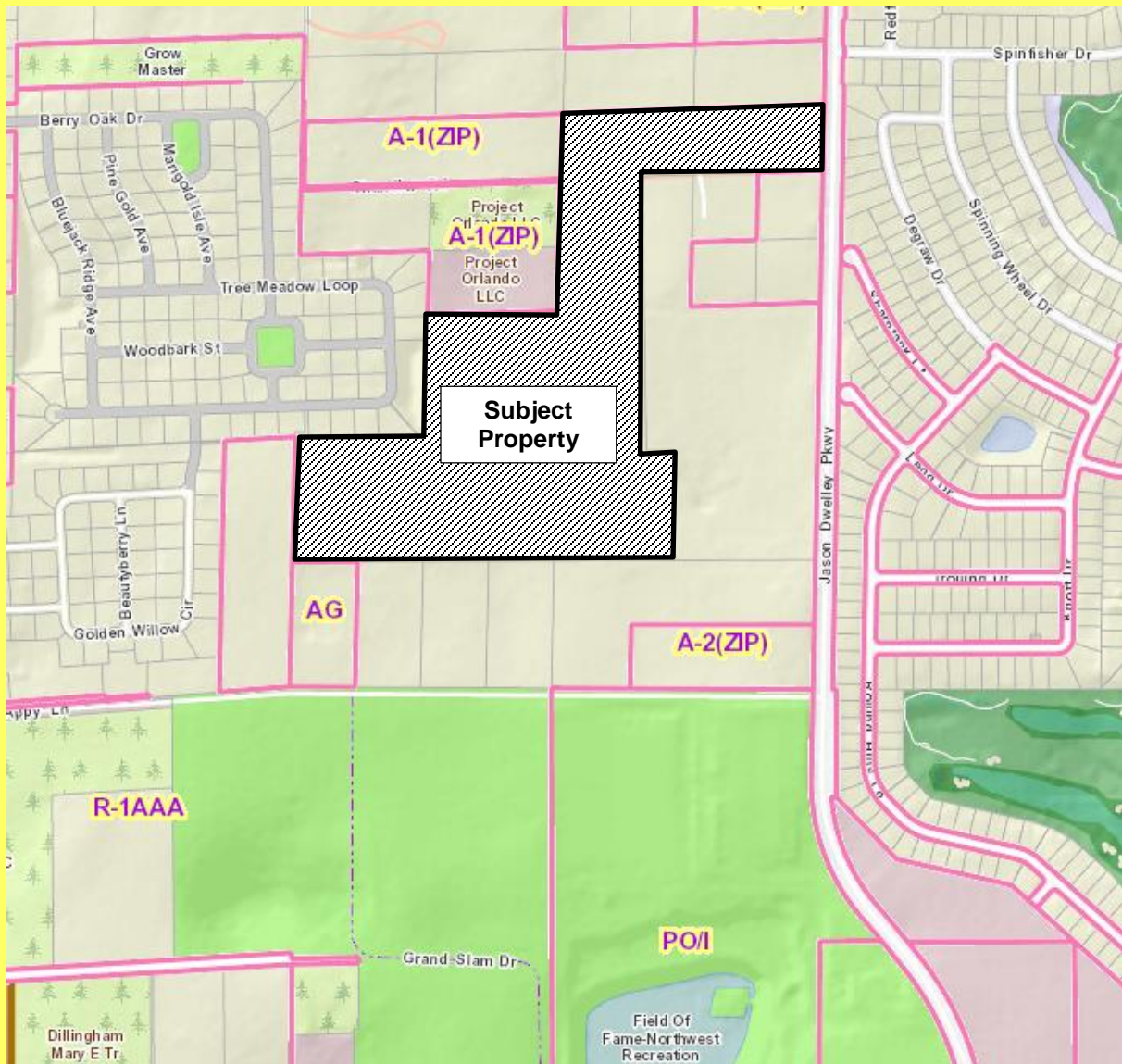


**Orchid Estates Subdivision
60.82 +/- Acres**

Proposed: 112 units

**Parcel ID #s: 18-20-28-0000-00-055; 18-20-28-0000-00-059;
18-20-28-0000-00-117 Portion**

VICINITY MAP





AERIAL MAP



ORCHID ESTATES

A PORTION OF SECTION 18, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 1 OF 5
(51287021)

PLAT
BOOK

PAGE

ORCHID ESTATES DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That JTD LAND AT ORCHID ESTATES, LLC, a Florida limited liability company, being the owner in fee simple of the lands described in the foregoing caption of this plat located in Orange County, Florida, hereby dedicates said lands and plot for the uses and purposes therein expressed and dedicates the streets, drainage easements, and utility easements shown thereon to the perpetual use of the public. Tract D is hereby dedicated to the City of Apopka, Florida.

IN WITNESS WHEREOF, Owner has caused these presents to be signed and witnessed by the Authorized Representative named below on the ____ day of ____ 2016.

By: JTD LAND AT ORCHID ESTATES, LLC, a Florida limited liability company

By: _____
Signature _____ Craig C. Harris
Manager

TITLE:

Signed and sealed in the presence of:

Signature: _____ Print Name: _____

Signature: _____ Print Name: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this ____ day of ____ 2016, by ____ as ____ on behalf of ____ executed the foregoing dedication and severally acknowledges the execution thereof to be his/her free act and deed for the uses and purposes therein expressed, and is personally known to me or has produced ____ as identification.

Notary Public

Printed Name, Notary Public State of Florida

My Commission Expires

Commission Number

CERTIFICATE OF SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a licensed and Registered Land Surveyor & Mapper, does hereby certify that I completed the survey of the lands therein described and this Plat was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon and this plat complies with all of the survey requirements of Chapter 177, Florida Statutes; and that said land is located in Orange County, Florida.

Signature _____ Dated: 03/10/2016

JAMES L. PETERSEN
Southeastern Surveying & Mapping Corporation
6500 Al American Boulevard
Orlando, Florida 32810-4350
Certificate No. LB 2108 Registration No. 4791

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, That on _____ the

_____ approved the foregoing plat.

ATTEST: _____ MAYOR

_____ CITY CLERK

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined _____

Approved: _____ City Engineer Date _____

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY, That on _____ the

Apopka Planning Commission approved the foregoing plat.

_____ Chairman

CERTIFICATE OF REVIEW BY CITY SURVEYOR

Reviewed for conformity to Florida Statute 177

City Surveyor _____ Date _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records

on _____ as File No. _____

County Comptroller in and for Orange County, Florida

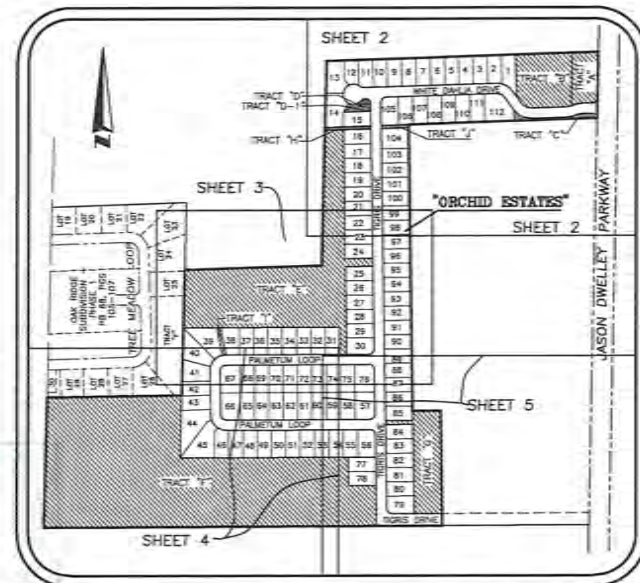
By: _____

DESCRIPTION:

A parcel of land lying in the Southeast 1/4 and the Northeast 1/4 of Section 18, Township 20 South, Range 28 East, City of Apopka, Orange County, Florida, being more particularly described as follows:

Begin at the Northeast corner of the Southeast 1/4 of said Section 18; thence along the North line of said Southeast 1/4, South 88°08'31" West 922.44 feet; thence, departing said North line, South 00°55'14" East 1,401.57 feet; thence North 89°02'58" East 135.50 feet; thence South 00°55'14" East 562.93 feet to the South line of the North 3/4 of said Southeast 1/4; thence, along said South line, South 89°46'29" West 1,948.05 feet to the West line of said Southeast 1/4; thence, along said West line, North 01°19'12" East 638.00 feet to the South line of Oak Ridge Subdivision - Phase 1, as recorded in Plat Book 86, Pages 105 through 107, inclusive, Public Records of Orange County, Florida; thence, along said South line, North 89°14'04" East 661.33 feet to the East line of said Oak Ridge Subdivision - Phase 1; thence, along said East line, North 01°16'48" East 613.45 feet; thence North 88°09'05" East 670.06 feet to a point on the East line of the Northeast 1/4 of said Southeast 1/4; thence, along said East line, North 01°11'56" East 675.00 feet to the Northwest corner of the Northeast 1/4 of the Southeast 1/4 of said Section 18; thence, along the West line of the Southeast 1/4 of the Northeast 1/4 of said Section 18, North 01°12'14" East 324.74 feet; thence, departing said West line, North 88°08'14" East 1,328.47 feet to the East line of the Northeast 1/4 of said Section 18; thence, along said East line, South 01°05'15" West 324.81 feet to the POINT OF BEGINNING.

Containing: 60.80 acres more or less.



GENERAL NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 20 SOUTH, RANGE 28 EAST BEING N 88°08'31"E.
- THERE IS A 5 FOOT WIDE LANDSCAPE EASEMENT BEHIND THE FRONT UTILITY EASEMENT. THIS EASEMENT IS FOR THE PROTECTION OF LOT STREET TREES BY THE HOMEOWNERS ASSOCIATION. DRAINAGE AND UTILITY EASEMENTS UNLESS OTHERWISE INDICATED, ARE AS FOLLOWS:
10' ALONG FRONT LOT LINES
7.5' ALONG REAR LOT LINES
5' ALONG SIDE LOT LINES
ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES. PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICE SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- ALL LOT LINES INTERSECTING CURVES ARE RADIAL UNLESS OTHERWISE NOTED.
- THIS PLAT CONTAINS 112 LOTS AND 11 TRACTS.
- TRACTS "A" AND "E" ARE STORMWATER RETENTION TRACTS AND WILL BE OWNED AND MAINTAINED BY THE ORCHID ESTATES HOMEOWNERS ASSOCIATION (WITH A BLANKET EASEMENT TO THE CITY OF APOPKA FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER PIPING AND STRUCTURES LOCATED WITHIN THESE TRACTS).
- TRACTS "B", "D-1", "F", AND "G" ARE OPEN SPACE, AND WILL BE OWNED AND MAINTAINED BY ORCHID ESTATES HOMEOWNERS ASSOCIATION.
- THERE IS A 10 FOOT WIDE WALL EASEMENT ALONG THE EAST SIDE OF TRACT "A", AS SHOWN ON THE PLAT. THE MAINTENANCE OF THIS EASEMENT WALL WILL BE PROVIDED BY THE ORCHID ESTATES HOMEOWNERS ASSOCIATION.
- TRACT "O" IS RESERVED FOR LANDSCAPING AND ENTRANCE FEATURES, AND WILL BE OWNED AND MAINTAINED BY ORCHID ESTATES HOMEOWNERS ASSOCIATION.
- TRACT "Y" BETWEEN LOTS 38 AND LOT 39 IS A 20.00 FOOT WIDE EASEMENT FOR DRAINAGE, ACCESS AND MAINTENANCE OF DRAINAGE OULVERT RUNNING ALONG THE LOT LINES AND WILL BE OWNED AND MAINTAINED BY THE ORCHID ESTATES HOMEOWNERS ASSOCIATION (WITH A BLANKET ACCESS EASEMENT TO THE CITY OF APOPKA FOR MAINTENANCE).
- TRACTS "H" AND "J" ARE 15.00 FEET INGRESS AND EGRESS EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 2642, PAGES 308 THROUGH 310, AND OFFICIAL RECORDS BOOK 4540, PAGES 3251 THROUGH 3256, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND WILL BE OWNED AND MAINTAINED BY ORCHID ESTATES HOMEOWNERS ASSOCIATION.
- LIFT STATION TRACT "D" IS TO BE DEDICATED TO THE CITY OF APOPKA, FLORIDA (WITH A 5 FOOT WALL EASEMENT TO THE CITY OF APOPKA FOR MAINTENANCE).
- NO FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS WILL BE PLACED INSIDE OF ANY WATER, SEWER, RECLAIMED OR STORMWATER UTILITY MAIN EASEMENTS.
- A 30 FOOT INGRESS/EGRESS EASEMENT ACROSS TRACT "C" IS HEREBY GRANTED FOR THE PURPOSE OF PROVIDING ACCESS TO WHITE DALLA DRIVE FOR THOSE PARCELS LOCATED SOUTH OF TRACT "C".

LEGEND & ABBREVIATIONS:

- = DESIGNATES A PERMANENT REFERENCE MONUMENT, BEING A SET 4"x4" CONCRETE MONUMENT WITH BRASS DISC STAMPED "P.R.M. LB2108", UNLESS OTHERWISE NOTED.
- o = DESIGNATES A PERMANENT CONTROL POINT, BEING A SET PK NAIL & DISK STAMPED "PCP LB2108", UNLESS OTHERWISE NOTED.
- Δ = CENTRAL ANGLE/DELTA
- R = RADIUS
- L = LENGTH
- C = CHORD DISTANCE
- CB = CHORD BEARING
- ESM/T = EASEMENT
- FND. = FOUND
- GIS = GEODETIC INFORMATION SYSTEM
- LB = LICENSED BUSINESS
- (NR) = NON-RADIAL
- ORB = OFFICIAL RECORDS
- (R) = RADIAL
- C/L = CENTER LINE
- R/W = RIGHT OF WAY
- CT. = COURT
- NE = NORTHEAST
- SE = SOUTHEAST
- NW = NORTHWEST
- SW = SOUTHWEST
- SEC. = SECTION
- TWP. = TOWNSHIP
- RGE. = RANGE
- PC = POINT OF CURVATURE
- PG.(S) = PAGE/PAGES
- PI = POINT OF INTERSECTION
- POC = POINT ON CURVE
- PT = POINT OF TANGENCY
- C1 = CURVE NUMBER
- L1 = LINE NUMBER
- NT = NON-TANGENT
- PRC = POINT OF REVERSE CURVATURE

NOTICE

This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the _____ of this county.

ORCHID ESTATES

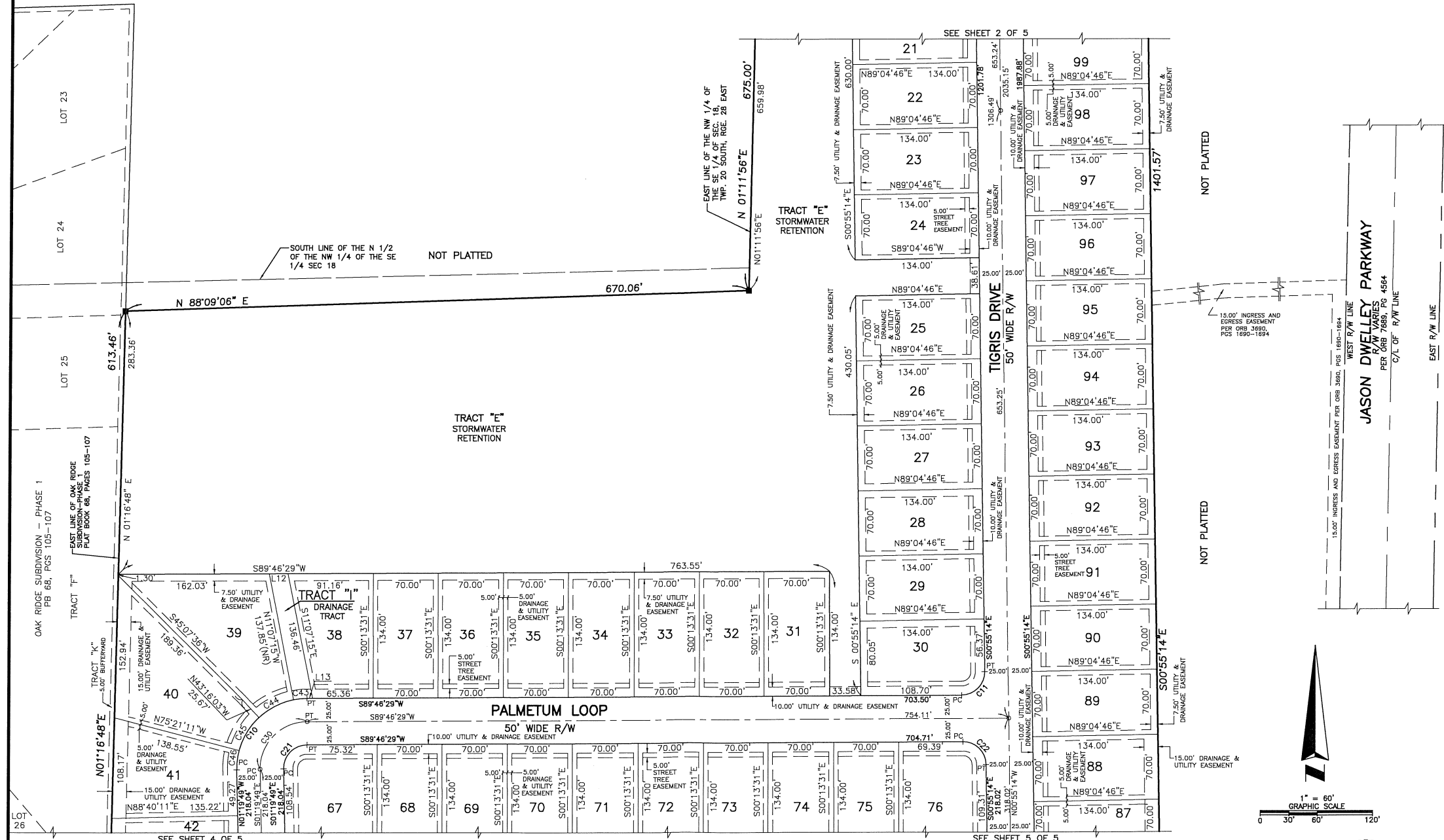
A PORTION OF SECTION 18, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

(51287021)

PLAT
BOOK

PAGE

SHEET 3 OF 5



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C10	119.26'	75.00'	91°06'18"	S44°13'21"W	107.08'
C11	39.57'	25.00'	90°41'44"	N44°25'36"E	35.57'
C21	39.75'	25.00'	91°06'18"	S44°13'20"W	35.69'
C30	79.50'	50.00'	91°06'18"	S44°13'20"W	71.39'
C43	14.34'	75.00'	10°57'24"	S84°17'48"W	14.32'
C44	42.00'	75.00'	32°05'09"	S62°	35'
C45	42.00'	75.00'	32°05'08"	S30°	35'
C46	20.91'	75.00'	15°58'38"	S05°	35'

LINE TABLE		
LINE	LENGTH	BEARING
L12	20.37'	N89°46'29"E
L13	5.85'	S89°46'29"W

147

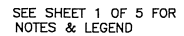


SOUTHEASTERN SURVEYING & MAPPING CORP.
6500 All American Boulevard
Orlando, Florida 32810-4350
(407) 282-8580 fax: (407) 282-0141
email: info@southeasternsurveying.com

SEE SHEET 1 OF 5 FOR
NOTES & LEGEND

PAGE

SHEET 4 OF 5

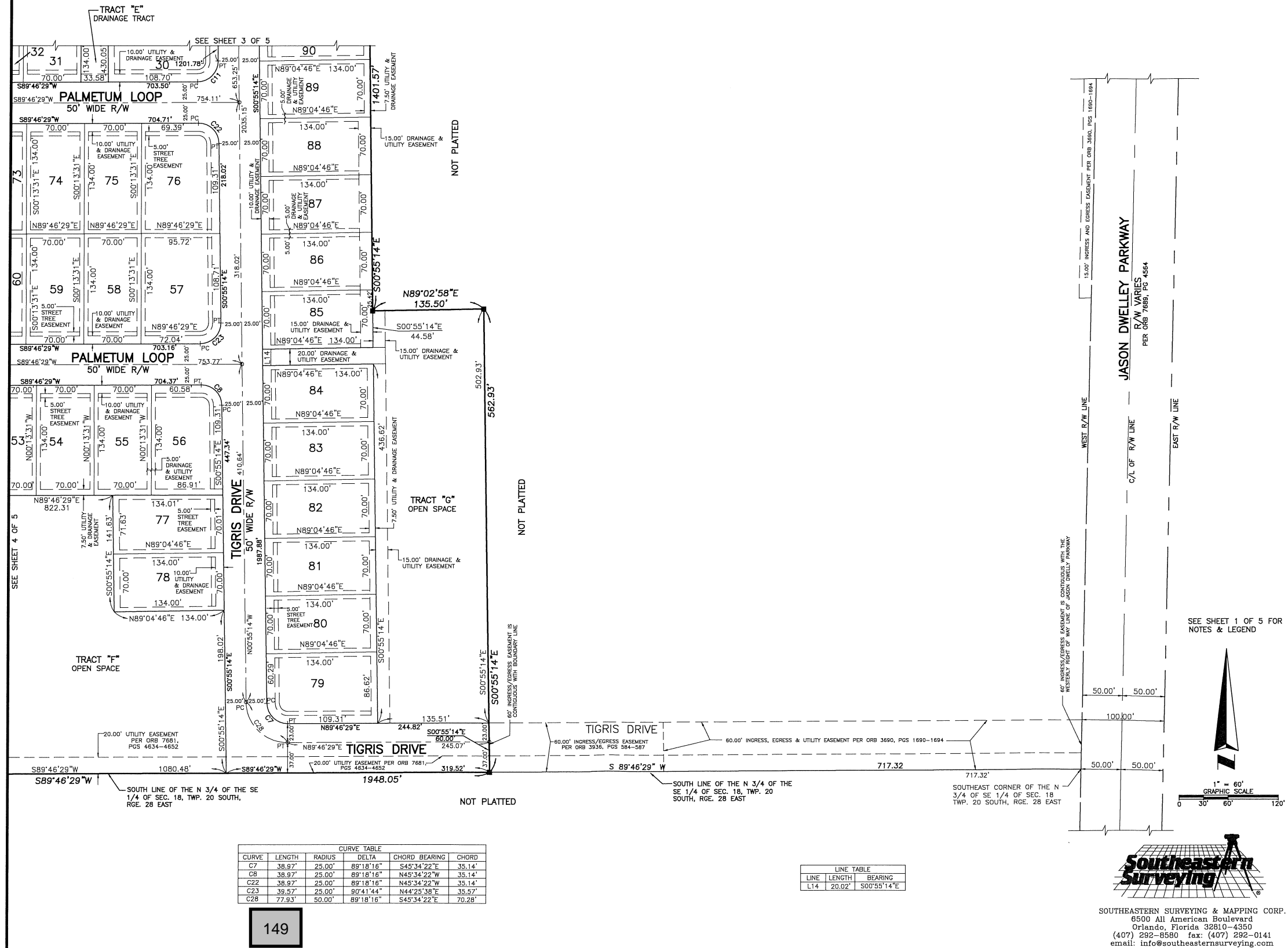


LINE TABLE		
LINE	LENGTH	BEARING
L13	5.85'	S89°46'29"W

SOUTHEASTERN SURVEYING & MAPPING CORP.
6500 All American Boulevard
Orlando, Florida 32810-4350
(407) 292-8580 fax: (407) 292-0141
email: info@southeasternsurveying.com

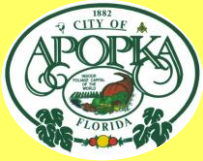
PAGE

SHEET 5 OF 5



Backup material for agenda item:

5. PLAT – SANDPIPER ROAD SUBDIVISION - Owned by Florida Land Trust #111, ZDA at Sandpiper, LLC, and located north of East Votaw Road, west of North Thompson Road. (Parcel ID #s: 03-21-28-0000-00-023; 03-21-28-0000-00-119; 03-21-28-0000-00-015; 03-21-28-0000-00-046; 03-21-28-0000-00-073; 03-21-28-0000-00-072; 03-21-28-0000-00-022; 03-21-28-0000-00-047; 03-21-28-0000-00-131; 03-21-28-0000-00-106)



CITY OF APOPKA PLANNING COMMISSION

☐ CONSENT AGENDA
☒ PUBLIC HEARING
☐ SPECIAL REPORTS
☒ OTHER: Plat

MEETING OF: February 14, 2017
FROM: Community Development
EXHIBITS: Vicinity & Aerial Maps
Final Plat

SUBJECT: SANDPIPER ROAD SUBDIVISION - FINAL DEVELOPMENT PLAT

REQUEST: RECOMMEND APPROVAL OF THE SANDPIPER ROAD SUBDIVISION - FINAL DEVELOPMENT PLAT

SUMMARY:

OWNER: Florida Land Trust #111, ZDA at Sandpiper, LLC

APPLICANT: Madden, Moorhead & Stokes, Inc.

ENGINEER: Madden, Moorhead & Stokes, Inc./o David A. Stokes, P.E.

LOCATION: North of East Votaw Road and west of North Thompson Road

PARCEL ID NUMBERS: 03-21-28-0000-00-023; -119, -015, -046, -073, -072, -022, -047, -131, -106

FUTURE LAND USE: Residential Very Low Suburban (0-2 du/ac)

ZONING: PUD/R-1A (Residential)

PROPOSED DEVELOPMENT: 49 Single Family Residential Lots

TRACT SIZE: 58.23 +/- acres

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Low Density Residential	A-2	Grazing
North (County)	Low Density Residential	A-1	SFR
East (County)	Low Density Residential	R-CE	SFR
South (County)	Low Density Residential	R-1AAAA	SFR
South (City)	Res. Very Low Suburban	R-1AAA	SFR
West (County)	Low Density Residential	A-2	SFR

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police

Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: The Sandpiper Road Subdivision Plat proposes 49 single family residential units and is consistent with the Master Plan\Preliminary Development Plan approved by City Council on July 20, 2016. The Sandpiper Road Subdivision is located within a Planned Unit Development Zoning District and will consist of a minimum 85 feet wide lots with a minimum lot size of 11,500 S.F. and a minimum living area of 2,200 S.F. Minimum developable lot area is 10,000 S.F. for lots 29 to 37. Development standards for the subdivision are based on the approved Sandpiper Road Subdivision Master Plan and the Land Development Code.

Access: Ingress/egress for the development will occur from internal public roads connecting at one location – Sandpiper Road. All subdivision roads are owned and maintained by the homeowners association.

Stormwater: The stormwater management system includes on-site retention areas designed to meet the City's Land Development Code requirements.

School Capacity Report: A school concurrency mitigation agreement must be obtained from the Orange County Public Schools prior to recording of the plat.

Recreation Space: The developer is providing a total of 21.51 acres of passive and active recreational areas which includes a tot lot and common open space areas.

Environmental: The developer must obtain a habitat management plan and gopher tortoise relocation permit application to the Florida Fish and Wildlife Commission prior to commencing any site construction activity.

Orange County Notification: The JPA requires the City to notify the County any public hearing or advisory board consideration of a Subdivision Plan that is adjacent to Unincorporated Orange County. The County has been notified via DRC agenda.

Buffer/Tree Program: Residential lots will be cleared on a lot-by-lot basis, as required by development standards within the Master Plan\Preliminary Development Plan. The Master Plan reserves over 18 acres for open space within Tract "A", and a thirty foot wide conservation easement on the south and east project line protects trees located therein. Residential lots will be cleared on a lot-by-lot basis with a tree survey provided with the residential plot plan. A mitigation fee, if required, shall be calculated and paid prior to the recording of a plat.

PUBLIC HEARING SCHEDULE:

Planning Commission – February 14, 2017 5:30 p.m.

City Council – February 15, 2017 6:00 p.m.

RECOMMENDED ACTION:

The **Development Review Committee** finds the Sandpiper Road Subdivision Plat to be consistent with the Comprehensive Plan, Land Development Code, and Master Plan\Preliminary Development Plan and recommends the approval of the Sandpiper Road Subdivision- Plat, subject to submittal of a School Concurrency with Orange County School Board.

Recommended Motion: Find the Sandpiper Road Subdivision Plat to be consistent with the Land Development Code and recommend approval of the Sandpiper Road Subdivision- Plat, subject to submittal of a School Concurrency with Orange County School Board.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny, based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

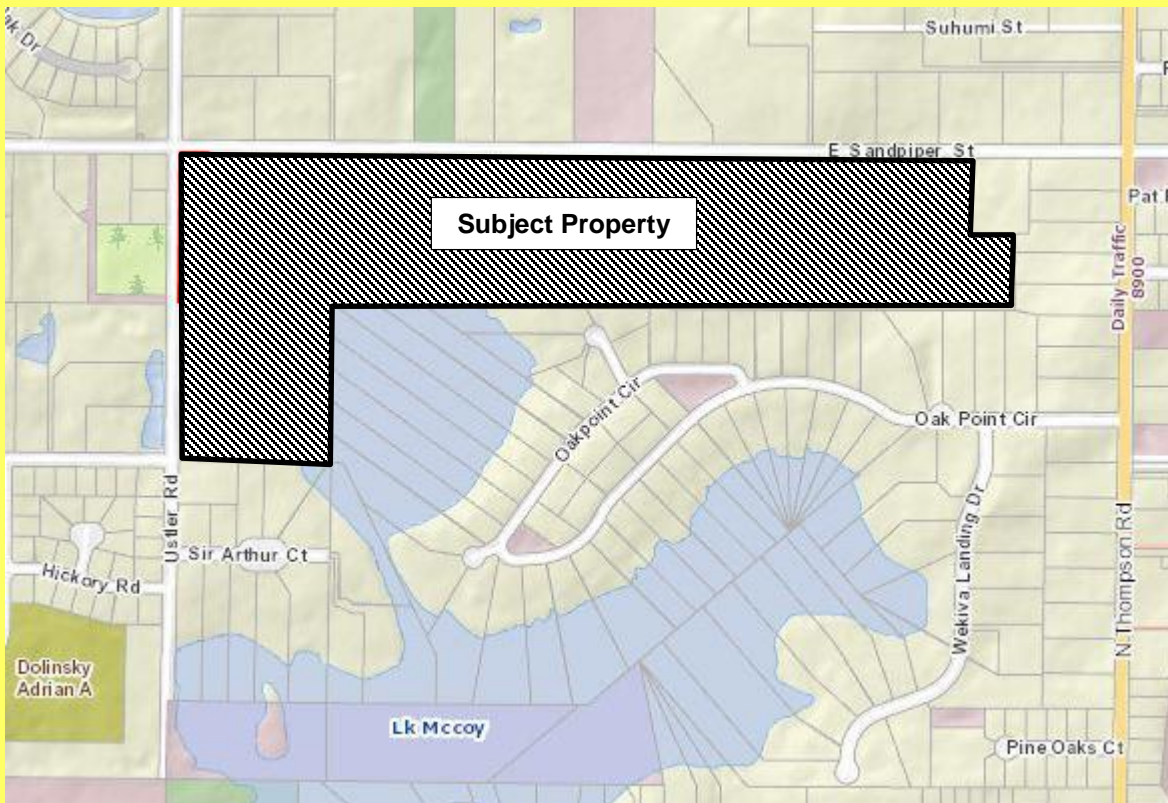


Sandpiper Road Subdivision

58.23 +/- Acres

Proposed: 49 units

Parcel ID #s: 03-21-28-0000-00-023; 03-21-28-0000-00-119; 03-21-28-0000-00-015;
03-21-28-0000-00-046; 03-21-28-0000-00-073; 03-21-28-0000-00-072;
03-21-28-0000-00-022; 03-21-28-0000-00-047; 03-21-28-0000-00-131;
03-21-28-0000-00-106





AERIAL MAP



Sandpiper
Sections 2 and 3, Township 21 South, Range 28 East
City of Apopka, Orange County, Florida

Sheet 1 of 5

PLAT
BOOK

PAGE

Sandpiper
DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That the Parties named below, being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicate said lands and plot for the uses and purposes therein expressed and dedicate the utility easements and Tract K (Lift Station) shown hereon to the City of Apopka, Florida and the perpetual use of the public.

IN WITNESS WHEREOF, the undersigned has caused these presents to be signed by the officer named below on _____

By _____ Title _____
Print Name _____

Signed in the presence of:

Sign Name _____ Sign Name _____
Print Name _____ Print Name _____

STATE OF FLORIDA
COUNTY OF ORANGE

I HEREBY CERTIFY, that on this day, before me personally appeared

to me known to be, or who has produced _____ as identification, and did / did not take an oath, the individual and partner described in and who executed the foregoing conveyance and acknowledged the execution thereof to be his free act and deed as such partner therein duly authorized, and that said conveyance is the act and deed of said partnership.

Witness my hand and official seal this _____ day of _____, 2017.

Notary Signature _____
Printed Notary Name _____

Commission # _____
Expiration Date _____

CERTIFICATE OF SURVEYOR

This plat was prepared under my direction and supervision and complies with all of the survey requirements of Chapter 177, Florida Statutes.

Signed _____ Date _____
Billy Joe Jenkins, Jr.
Florida Professional Surveyor and Mapper License Number 5205

Benchmark Surveying and Mapping, LLC
Licensed Business Number 7874
3110 Red Fox Run, Kissimmee, Florida 34746
P.O. Box 771065, Winter Garden, Florida 34777-1065

CERTIFICATE OF APPROVAL
BY MUNICIPALITY

THIS IS TO CERTIFY, that on _____ the City Council approved the foregoing plat.

County Surveyor _____ Date _____

CERTIFICATE OF APPROVAL
BY CITY ENGINEER

Examined and approved: _____ Date _____
City Engineer _____

CERTIFICATE OF APPROVAL BY
THE DEVELOPMENT REVIEW COMMITTEE

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the Apopka Land Development Review Committee.

By _____ Date _____
Chairman _____

CERTIFICATE OF REVIEW
BY CITY SURVEYOR

This plat has been reviewed for conformity with Chapter 177, Florida Statutes.

City Surveyor _____ Date _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on _____ as File No. _____

County Comptroller in and for Orange County, Florida:
By _____

Property Description

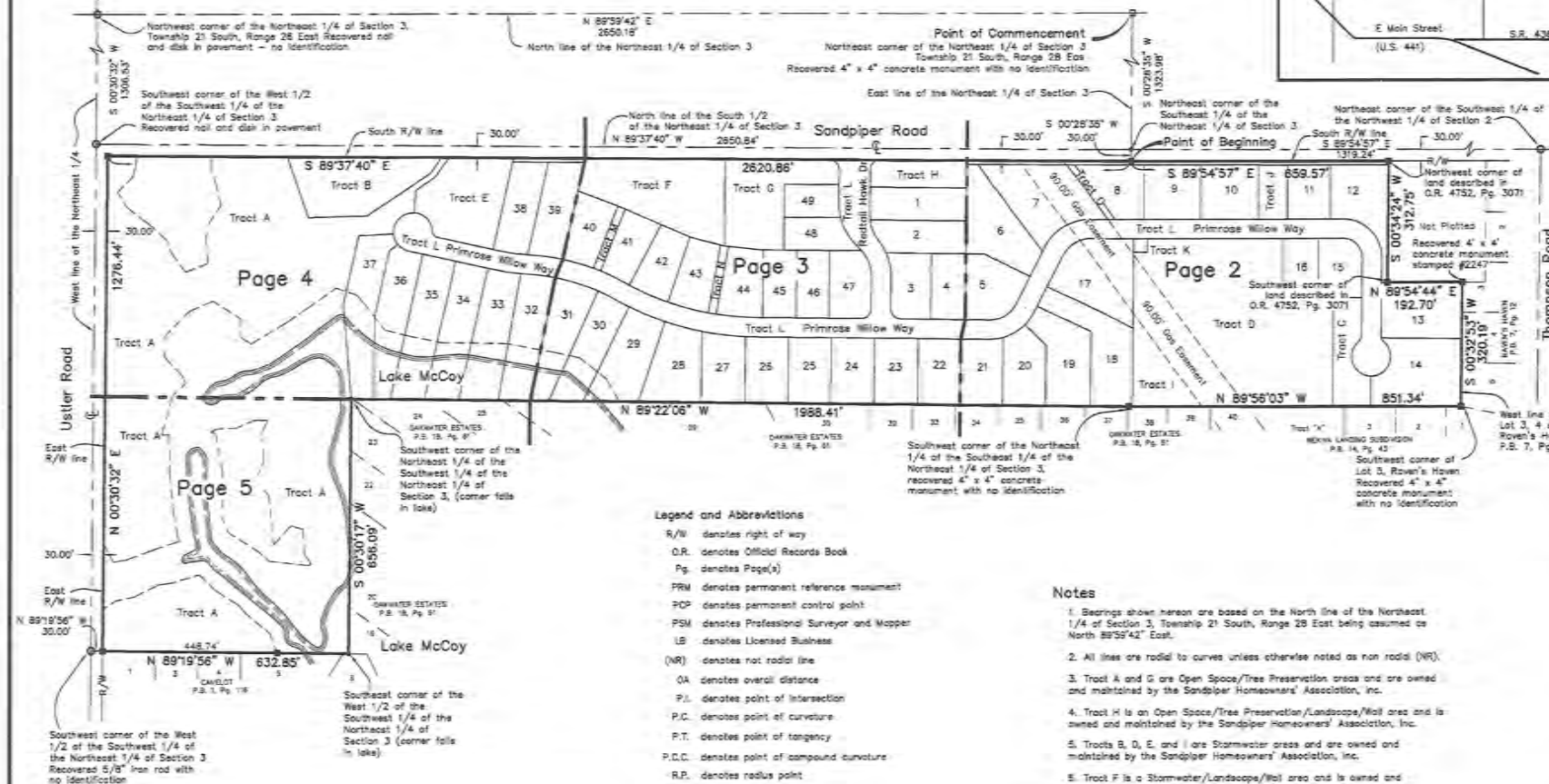
Parcel 1:
The West 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East, Orange County, Florida, less road right of way on the North for E. Sandpiper Street and on the West for Ustler Road.
Parcel 2:
The Northeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East, Orange County, Florida, LESS the North 30 feet thereof.
Parcel 3:
The West 1/4 of the North 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East, Orange County, Florida, LESS the North 330 feet of the East 200 feet of the East 220 feet thereof. And LESS the North 30.00 feet thereof.
Parcel 4:
The North 330.00 feet of the West 220.00 feet of the West 1/2 of the North 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East, Orange County, Florida, LESS the North 30.00 feet thereof, AND LESS the West 20.00 feet thereof.
Parcel 5:
The Northeast 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East, Orange County, Florida.
Parcel 6:
The West 275.0 feet of the Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 2, Township 21 South, Range 28 East, Orange County, Florida, less the North 30 feet thereof.
Parcel 7:
That part of the Southwest 1/4 of the Northwest 1/4 of Section 2, Township 21 South, Range 28 East, Orange County, Florida, beginning at a point South 00°02'00" West, 30.0 feet and North 89°35'59" East, 550.0 feet from the Northwest corner of said Southwest 1/4 of the Northwest 1/4, run North 89°35'59" East, 106.50 feet along the South line of Sandpiper Road, thence run South 00°01'08" West, 312.00 feet; thence run North 89°35'59" East, 193.00 feet; thence run South 00°03'49" West, 320.19 feet; thence run South 89°35'00" West, 301.81 feet; thence run North 00°02'00" East, 632.27 feet to the Point of Beginning.
ALSO: The East 275.0 feet of the West 550.0 feet of the Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 2, Township 21 South, Range 28 East, Orange County, Florida, less the North 30 feet thereof for Sandpiper Road.

ALSO DESCRIBED AS:

A parcel of land being a portion of the Northwest 1/4 of Section 2 and a portion of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East, City of Apopka, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East, Orange County, Florida, thence South 00°28'35" West, along the East line of said Northeast 1/4, a distance of 1323.98 feet to the Northeast corner of the Southeast 1/4 of said Northeast 1/4; thence South 00°28'35" West a distance of 30.00 feet to a point on the South right of way line of Sandpiper Road (a 60.00 foot wide public right of way) and POINT OF BEGINNING; thence South 89°54'57" East, along said South right of way line, a distance of 659.57 feet to the Northwest corner of a parcel of land described in that certain Warranty Deed recorded in Official Records Book 4752, Page 3071, Public Records of Orange County, Florida; thence South 00°34'24" West a distance of 312.75 feet to the Southwest corner of said parcel; thence North 89°54'44" East, along the South line of said parcel, a distance of 192.70 feet to the West line of Raven's Haven subdivision according to the plat thereof as recorded in Plat Book 7, Page 12, Public Records of Orange County, Florida; thence South 00°32'53" West, along said West line, a distance of 320.19 feet to the Southwest corner of Lot 5 of said Raven's Haven subdivision; thence North 89°56'03" West a distance of 851.34 feet to the Southwest corner of the Northeast 1/4 of the Northeast 1/4 of said Section 3; thence North 89°22'06" West a distance of 1988.41 feet to the Southwest corner of the Northeast 1/4 of the Southwest 1/4 of said Section 3; thence South 00°30'17" West a distance of 656.09 feet to the Southeast corner of the West 1/2 of the Southwest 1/4 of the Northeast 1/4 of said Section 3; thence North 89°19'56" West a distance of 632.85 feet to the East right of way line of Ustler Road (a 60.00 foot wide public right of way); thence North 00°30'32" East, along the East right of way line of Ustler Road, a distance of 1276.44 feet to the South right of way line of said Sandpiper Road; thence South 89°37'40" East, along the South right of way line of said Sandpiper Road, a distance of 2620.86 feet to the POINT OF BEGINNING.

Contains 58.222 acres, more or less.



Legend and Abbreviations

- R/W denotes right of way
- O.R. denotes Official Records Book
- Pg. denotes Page(s)
- PRM denotes permanent reference monument
- PCP denotes permanent control point
- PSM denotes Professional Surveyor and Mapper
- LB denotes Licensed Business
- (NR) denotes not radial line
- QA denotes overall distance
- P.I. denotes point of intersection
- P.C. denotes point of curvature
- P.T. denotes point of tangency
- P.C.C. denotes point of compound curvature
- R.P. denotes radius point
- U.E. denotes Utility Easement
- D.E. denotes Drainage Easement
- (TYP) denotes typical
- DOC # denotes Official Records document number of the Public Records of Orange County, Florida
- denotes Set 4" x 4" concrete monument and disk stamped "PRM PSM 5205", unless otherwise noted
- denotes set nail and disk stamped "PCP PSM 5205"
- denotes change of direction
- denotes centerline

Notes

1. Bearings shown hereon are based on the North line of the Northeast 1/4 of Section 3, Township 21 South, Range 28 East being assumed as North 89°54'42" East.
2. All lines are radial to curves unless otherwise noted as non radial (NR).
3. Tract A and G are Open Space/Tree Preservation areas and are owned and maintained by the Sandpiper Homeowners' Association, Inc.
4. Tract H is an Open Space/Tree Preservation/Landscape/Wall area and is owned and maintained by the Sandpiper Homeowners' Association, Inc.
5. Tracts B, D, E, and I are Stormwater areas and are owned and maintained by the Sandpiper Homeowners' Association, Inc.
6. Tract F is a Stormwater/Landscape/Wall area and is owned and maintained by the Sandpiper Homeowners' Association, Inc.
7. Tracts C and J are Park areas and are owned and maintained by the Sandpiper Homeowners' Association, Inc.
8. Tract K, Lift Station shall be owned and maintained by the City of Apopka, Florida.
9. Tracts L, M, N, and O are private right of ways and are owned and maintained by the Sandpiper Homeowners' Association, Inc.
10. Drainage Easements are dedicated to and maintained by the Sandpiper Homeowners' Association, Inc.
11. Conservation Easements are dedicated to and maintained by the Sandpiper Homeowners' Association, Inc.

NOTICE:
This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.

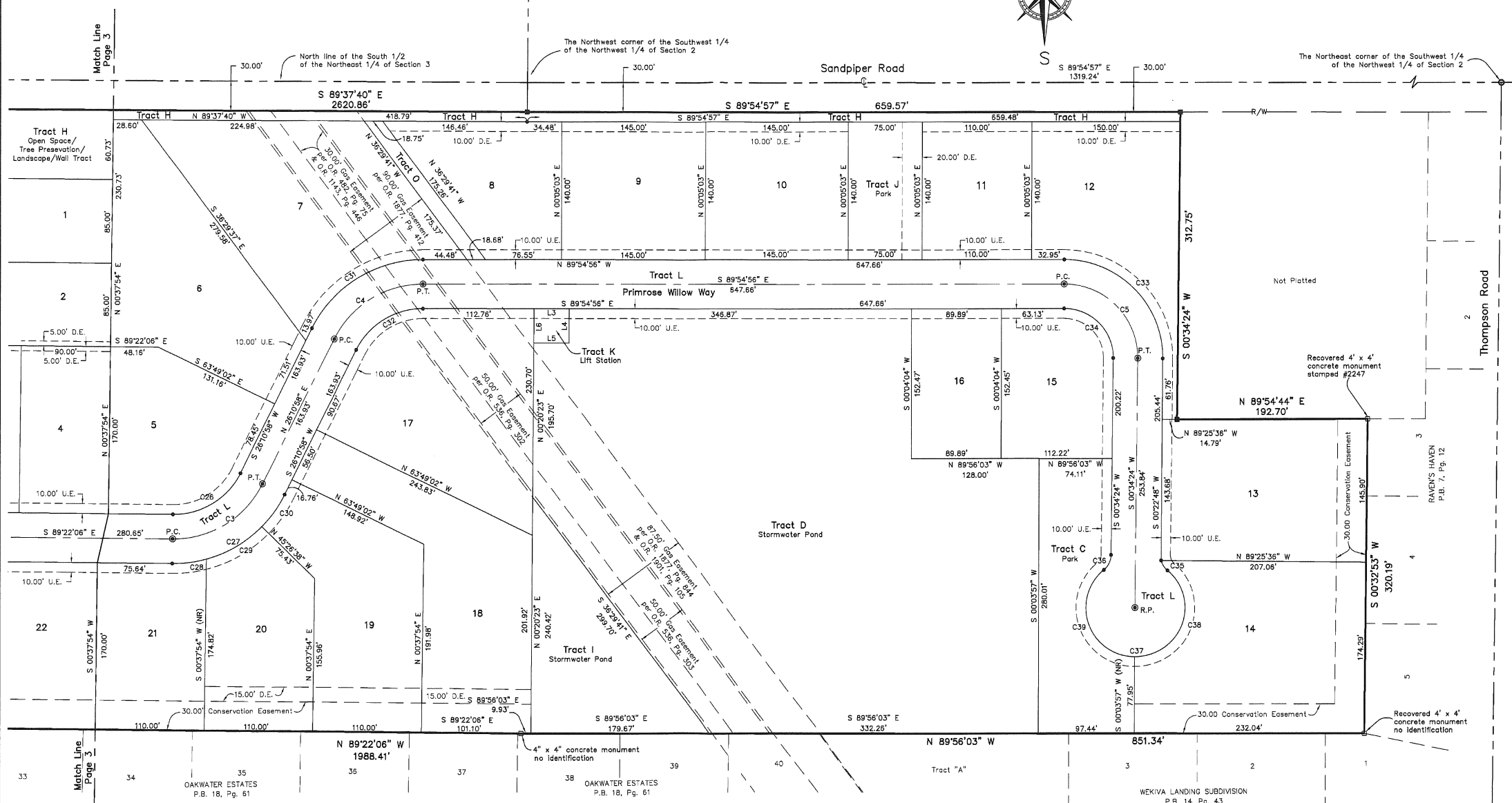
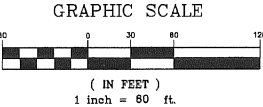
Benchmark Surveying & Mapping, LLC
Certificate of Authorization Number - LB-7874
Post Office Box 771065, Winter Garden, Florida 34777-1065
3110 Red Fox Run, Kissimmee, Florida 34746
(407) 654-8183
www.benchmarksurveyingandmapping.com

Sandpiper
City of Apopka, Orange County, Florida
Sections 2 and 3, Township 21 South, Range 28 East

Sheet 2 of 5

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BOOK

PAGE



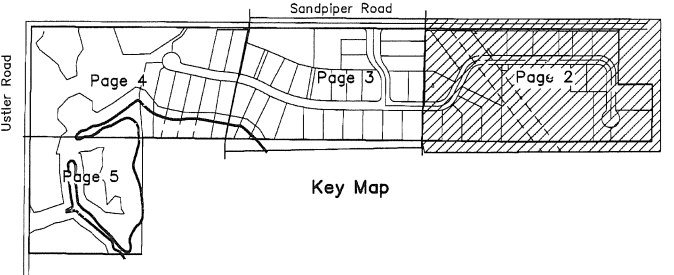
Line Table

LINE	Bearing	Distance
L3	S 89°39'37" E	35.00'
L4	S 00°20'23" W	34.85'
L5	N 89°54'56" W	35.00'
L6	N 00°20'23" E	35.00'

Curve Table

Number	Radius	Delta	Length	Chord	Chord Bearing
C3	100.00'	64°26'56"	112.48'	106.65'	N 58°24'26" E
C4	100.00'	63°54'06"	111.53'	105.84'	S 58°08'01" W
C5	75.00'	90°29'20"	118.45'	106.52'	N 44°40'16" W
C26	75.00'	64°26'57"	84.36'	79.99'	N 58°24'26" E
C27	125.00'	64°26'56"	140.61'	133.31'	N 58°24'26" E
C28	125.00'	155°7'00"	34.81'	34.70'	N 82°32'14" E
C29	125.00'	30°07'12"	65.71'	64.98'	N 59°36'58" E
C30	125.00'	18°22'24"	49.08'	39.91'	N 35°22'10" E
C31	125.00'	61°50'01"	134.90'	128.45'	S 57°05'58" W
C32	75.00'	63°54'06"	83.65'	79.38'	S 58°08'01" W
C33	100.00'	90°29'20"	157.93'	142.02'	N 44°40'16" W
C34	50.00'	90°29'20"	78.97'	71.01'	N 44°40'16" W
C35	20.00'	34°51'48"	12.17'	11.98'	S 31°59'25" E
C36	20.00'	48°59'41"	17.45'	16.90'	N 25°34'14" E
C37	50.00'	27°59'23"	244.34'	64.29'	S 89°25'36" E
C38	50.00'	139°51'48"	122.65'	93.93'	N 20°30'37" E
C39	50.00'	140°07'34"	122.28'	94.01'	S 19°29'42" E

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Sandpiper
City of Apopka, Orange County, Florida
Sections 2 and 3, Township 21 South, Range 28 East

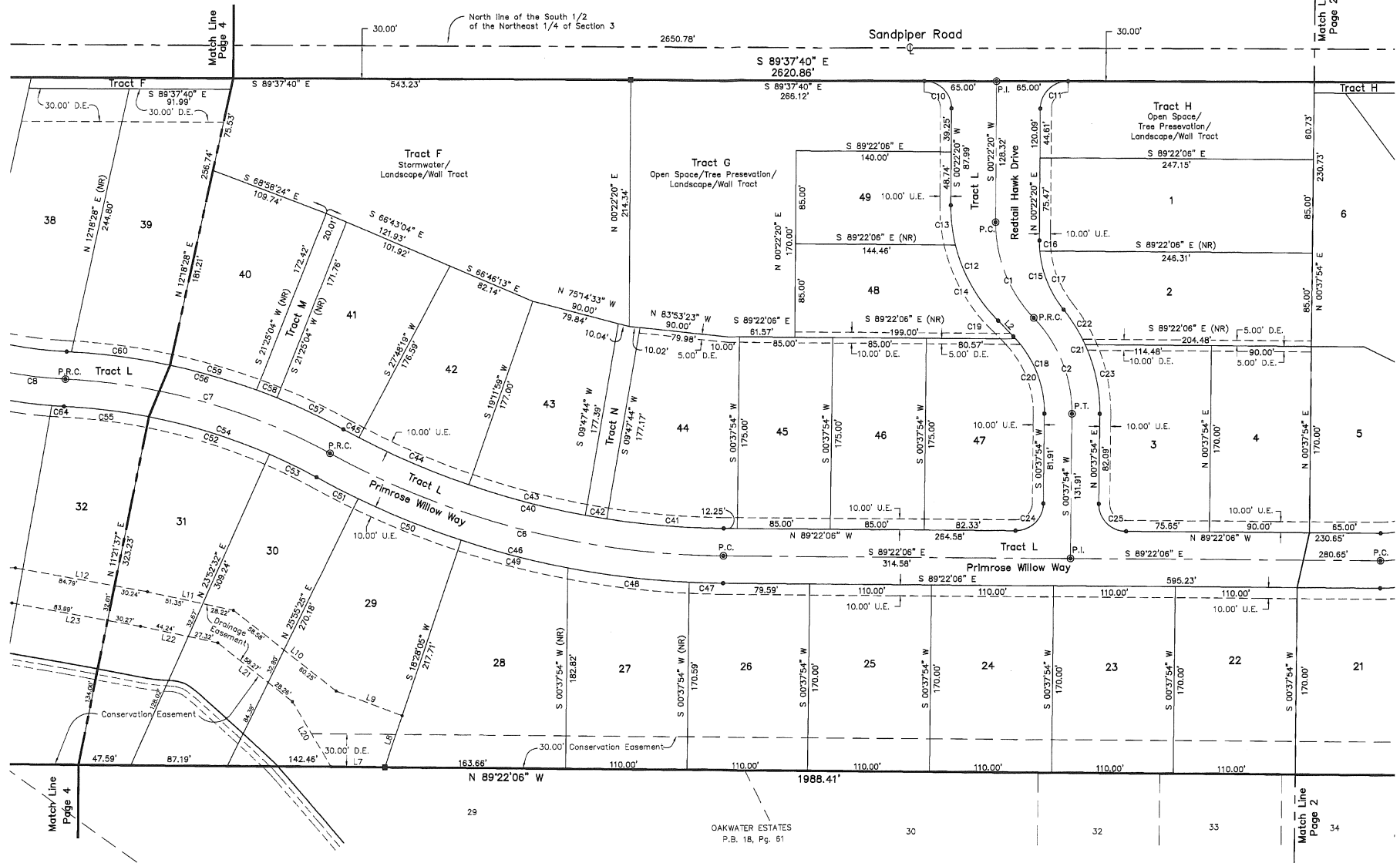
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PLAT
BOOK

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GRAPHIC SCALE

(IN FEET)
1 inch = 80 ft.



Legend and Abbreviations

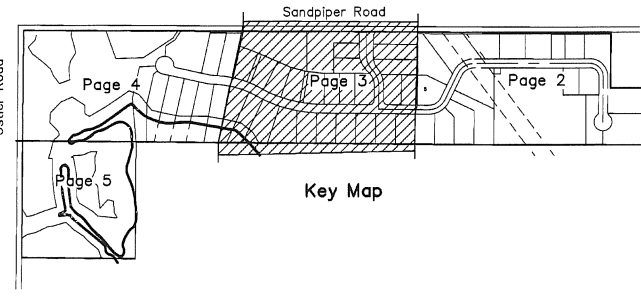
- R/W denotes right of way
- O.R. denotes Official Records Book
- Pg. denotes Page(s)
- PRM denotes permanent reference monument
- PCP denotes permanent control point
- PSM denotes Professional Surveyor and Mapper
- LB denotes Licensed Business
- (NR) denotes not radial line
- OA denotes overall distance
- P.I. denotes point of intersection
- P.C. denotes point of curvature
- P.T. denotes point of tangency
- P.C.C. denotes point of compound curvature
- R.P. denotes radius point
- U.E. denotes Utility Easement
- D.E. denotes Drainage Easement
- (TYP) denotes typical
- DOC # denotes Official Records document number of the Public Records of Orange County, Florida
- denotes Set 4" x 4" concrete monument and disk stamped "PRM PSM 5205", unless otherwise noted.
- denotes set nail and disk stamped "PCP PSM 5205"
- denotes change of direction
- ⊙ denotes centerline

Line Table		
LINE	Bearing	Distance
L1	S 37°15'19" E	20.25'
L2	S 44°01'15" E	20.16'

Easement Line Table		
Line	Bearing	Distance
L7	S 89°21'35" E	48.67'
L8	N 18°28'02" E	49.85'
L9	N 69°33'19" W	83.48'
L10	N 51°26'02" W	118.83'
L11	N 77°45'21" W	79.57'
L12	N 79°37'20" W	121.80'
L20	N 30°24'06" W	58.76'
L21	N 51°26'02" W	86.54'
L22	N 77°45'21" W	71.56'
L23	N 79°37'20" W	118.59'

Curve Table					
Number	Radius	Delta	Length	Chord	Chord Bearing
C1	125.00'	44°05'40"	96.20'	93.84'	S 21°40'30" E
C2	125.00'	44°21'15"	96.77'	94.37'	N 21°32'43" W
C3	100.00'	64°28'56"	112.48'	108.65'	N 58°24'28" E
C4	100.00'	63°54'06"	111.53'	105.84'	S 58°08'01" W
C5	75.00'	90°28'20"	118.45'	106.52'	N 44°40'16" W
C6	750.00'	28°25'41"	372.12'	368.32'	S 75°09'15" E
C7	550.00'	26°11'12"	251.37'	248.19'	N 74°02'00" W
C8	400.00'	9°31'42"	65.52'	66.44'	S 82°21'45" E
C9	50.00'	40°20'36"	35.21'	34.48'	S 57°25'37" E
C10	25.00'	80°00'01"	39.27'	35.36'	N 44°37'40" W
C11	25.00'	80°00'00"	39.27'	35.36'	S 45°22'20" W
C12	150.00'	44°23'15"	116.21'	113.32'	S 21°49'18" E
C13	150.00'	13°59'51"	35.85'	36.35'	S 06°37'38" E
C14	150.00'	30°23'24"	79.36'	78.63'	S 28°49'13" E
C15	100.00'	38°54'18"	67.90'	66.60'	S 19°04'49" E
C16	100.00'	5°28'07"	9.54'	9.54'	S 02°21'44" E
C17	100.00'	33°26'10"	58.36'	57.53'	S 21°48'53" E
C18	100.00'	44°39'09"	77.93'	75.98'	N 21°41'40" W
C19	100.00'	144°19'	3.03'	3.03'	N 43°09'05" W
C20	100.00'	42°54'50"	74.90'	73.16'	N 20°49'31" W
C21	150.00'	39°09'52"	102.53'	100.55'	N 18°57'02" W
C22	150.00'	14°22'10"	37.82'	37.52'	N 31°20'53" W
C23	150.00'	24°47'42"	64.91'	64.41'	N 11°45'57" W

Curve Table					
Number	Radius	Delta	Length	Chord	Chord Bearing
C24	25.00'	90°00'00"	39.27'	35.36'	N 45°37'54" E
C25	25.00'	90°00'00"	39.27'	35.36'	S 44°22'06" E
C40	725.00'	28°25'41"	359.72'	358.04'	S 75°09'15" E
C41	725.00'	8°22'25"	105.86'	105.86'	S 85°10'53" E
C42	725.00'	13°45'50"	20.00'	20.00'	S 80°12'18" E
C43	725.00'	8°36'50"	109.00'	108.89'	S 75°08'28" E
C44	725.00'	8°36'20"	108.89'	108.79'	S 66°23'51" E
C45	725.00'	11°51'18"	15.87'	15.87'	S 61°34'03" E
C46	775.00'	28°25'41"	384.53'	380.60'	S 75°09'15" E
C47	775.00'	21°45'56"	30.42'	30.42'	S 88°14'36" E
C48	775.00'	8°11'22"	110.77'	110.68'	S 83°01'29" E
C49	775.00'	7°23'53"	100.07'	100.00'	S 75°13'51" E
C50	775.00'	7°27'19"	100.84'	100.77'	S 67°48'19" E
C51	775.00'	30°08'11"	42.42'	42.42'	S 62°30'30" E
C52	525.00'	26°11'12"	239.95'	237.88'	N 74°02'00" W
C53	525.00'	5°11'03"	47.50'	47.49'	N 63°31'56" W
C54	525.00'	12°30'55"	114.68'	114.45'	N 72°22'58" W
C55	525.00'	8°29'13"	77.77'	77.68'	N 62°53'00" W
C56	525.00'	26°11'12"	282.80'	280.52'	N 74°02'00" W
C57	607.93'	6°17'09"	66.69'	66.66'	N 64°11'18" W
C58	585.24'	1°57'29"	20.00'	20.00'	N 68°42'08" W
C59	585.24'	7°58'19"	81.43'	81.35'	N 73°40'01" W
C60	575.00'	9°00'18"	90.37'	90.28'	N 82°11'41" W



Benchmark Surveying & Mapping, LLC
Certificate of Authorization Number - LB-7874
Post Office Box 771065, Winter Garden, Florida 34777-1065
3110 Red Fox Run, Kissimmee, Florida 34746
(407) 654-6183
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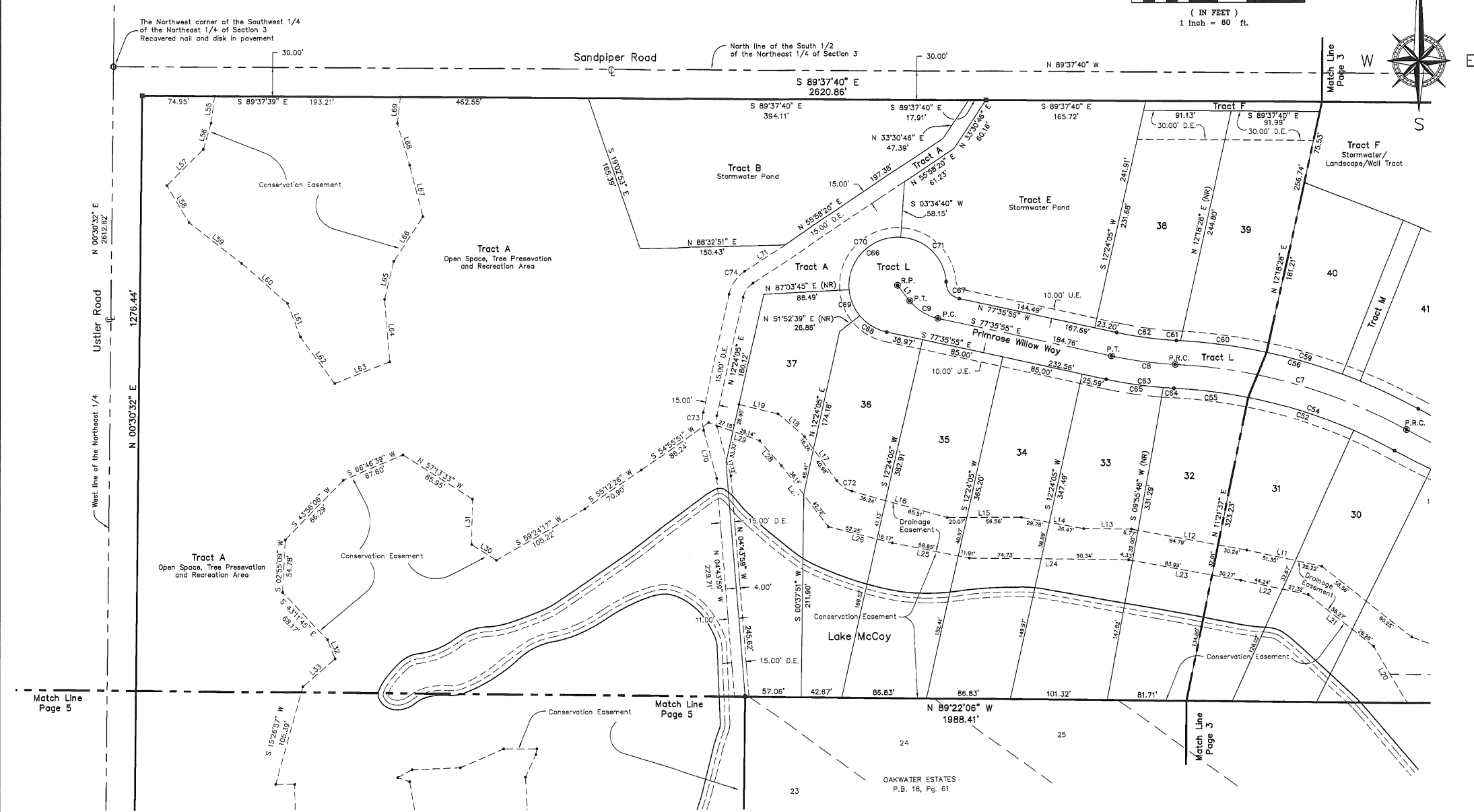
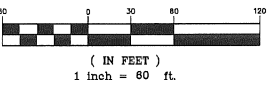
Sandpiper
City of Apopka, Orange County, Florida
Sections 2 and 3, Township 21 South, Range 28 East

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BOOK

PAGE

GRAPHIC SCALE



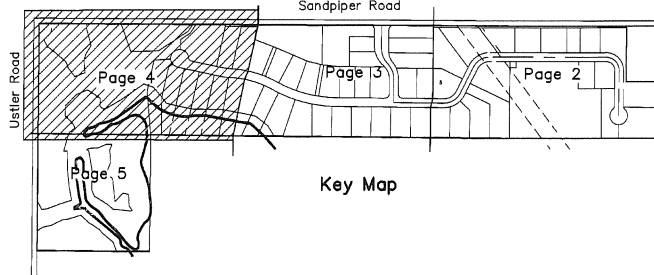
Easement Curve Table					
Number	Radius	Delta	Length	Chord	Chord Bearing
C73	39.00'	27°44'52"	18.89'	18.70'	N 01°28'20" W
C74	39.00'	43°34'14"	29.66'	28.95'	N 34°11'13" E

Line Table		
Line	Bearing	Distance
L1	S 37°15'19" E	20.25'

Easement Line Table		
Line	Bearing	Distance
L11	N 77°45'21" W	72.53'
L12	N 79°37'20" W	121.80'
L13	N 89°14'05" W	49.23'
L14	N 79°37'09" W	66.24'
L15	S 90°00'00" W	76.63'
L16	N 74°12'54" W	101.75'
L17	N 36°24'10" W	57.24'
L18	N 48°54'47" W	36.47'
L19	N 75°52'21" W	40.79'
L20	N 30°24'06" W	68.78'
L21	N 51°26'02" W	86.54'
L22	N 77°45'21" W	71.56'
L23	N 79°37'20" W	118.59'
L24	N 89°14'05" W	165.07'
L25	N 78°34'05" W	80.66'
L26	N 75°35'41" W	68.42'
L27	N 37°42'55" W	80.85'
L28	N 39°44'23" W	33.98'
L29	N 70°24'14" W	56.32'

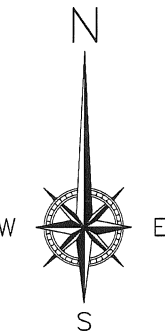
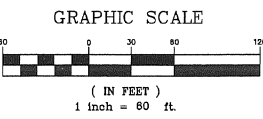
Easement Line Table		
Line	Bearing	Distance
L30	N 58°15'32" W	31.07'
L31	N 01°08'05" E	47.33'
L32	S 21°17'16" E	21.41'
L33	S 48°36'56" W	44.16'
L34	S 07°18'59" W	28.20'
L35	S 16°27'33" W	28.28'
L36	S 45°06'38" W	53.41'
L37	S 31°09'49" E	45.18'
L38	S 92°09'46" E	58.96'
L39	S 48°49'36" E	63.79'
L40	S 20°51'41" E	37.55'
L41	S 36°02'20" E	60.34'
L42	N 68°18'32" E	61.75'
L43	N 04°48'24" W	65.45'
L44	N 13°32'40" W	40.78'
L45	N 33°00'13" E	55.22'
L46	N 14°26'09" W	55.41'
L47	N 16°22'44" W	45.17'
L48	N 06°10'28" E	27.53'
L49	N 15°45'28" W	52.29'
L50	N 55°58'20" E	49.24'

Curve Table					
Number	Radius	Delta	Length	Chord	Chord Bearing
C7	550.00'	26°11'12"	251.37'	249.19'	N 74°02'00" W
C8	400.00'	9°31'42"	66.52'	66.44'	S 82°21'45" E
C9	50.00'	40°20'36"	35.21'	34.48'	S 57°25'37" E
C52	525.00'	26°11'12"	239.95'	237.86'	N 74°02'00" W
C53	525.00'	51°11'03"	47.50'	47.48'	N 63°31'56" W
C54	525.00'	12°30'55"	114.68'	114.45'	N 72°22'56" W
C55	525.00'	8°29'13"	77.77'	77.69'	N 82°53'00" W
C56	575.00'	26°11'12"	262.80'	260.52'	N 74°02'00" W
C57	607.93'	6°17'08"	66.69'	66.66'	N 64°11'18" W
C58	585.24'	1°57'29"	20.00'	20.00'	N 68°42'08" W
C59	585.24'	7°58'19"	81.43'	81.36'	N 73°40'01" W
C60	575.00'	9°00'18"	90.37'	90.28'	N 82°11'41" W
C61	575.00'	0°25'46"	4.31'	4.31'	N 86°54'43" W
C62	375.00'	9°31'42"	62.36'	62.29'	S 82°21'45" E
C63	425.00'	9°31'42"	70.68'	70.60'	S 82°21'45" E
C64	425.00'	1°30'24"	11.18'	11.17'	S 88°22'24" E
C65	425.00'	8°01'19"	59.50'	59.45'	S 81°36'33" E
C66	50.00'	25°23'54"	221.13'	80.18'	S 49°06'03" W
C67	16.85'	82°17'16"	24.20'	22.17'	S 37°28'39" E
C68	50.00'	38°15'05"	33.38'	32.76'	S 58°28'22" E
C69	50.00'	34°16'40"	28.91'	28.47'	S 22°12'28" E
C70	50.00'	88°58'49"	88.08'	75.84'	N 44°15'15" E
C71	50.00'	82°13'20"	71.75'	65.75'	N 45°18'40" W



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Sandpiper
City of Apopka, Orange County, Florida
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Line	Bearing	Distance
L33	S 48°36'56" W	44.16'
L34	S 89°17'29" E	19.69'
L35	S 09°26'29" E	18.84'
L36	S 79°34'09" W	33.42'
L37	N 28°23'58" W	53.79'
L38	N 58°29'55" E	37.53'
L39	N 77°38'52" E	48.38'
L40	N 82°52'51" E	30.80'
L41	S 41°33'02" E	32.64'
L42	S 64°33'44" W	8.16'
L43	N 22°47'11" W	39.06'
L44	N 70°51'21" W	13.01'
L45	N 60°55'10" E	17.00'
L46	N 87°48'04" E	49.79'
L47	N 89°58'41" E	33.67'
L48	S 11°21'02" W	6.11'
L49	S 23°48'34" W	25.75'
L50	S 33°07'12" E	9.97'
L51	N 42°18'45" E	65.81'
L52	S 74°10'39" E	32.27'
L53	S 03°49'58" E	64.37'
L54	S 33°03'38" E	30.87'

- Legend and Abbreviations
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 - LB denotes Licensed Business
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 - OA denotes overall distance
 - P.I. denotes point of intersection
 - P.C. denotes point of curvature
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 - denotes set nail and disk stamped "PCP PSM 5205"
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